

REVISED

# WALLER COUNTY LIBRARY ADDITION

2331 11TH STREET, HEMPSTEAD, TEXAS 77445

10/17/19 - ADDENDUM #1

## DAHVAR

### DRAWING / SHEET INDEX

Construction and Design

Residential / Commercial / Remodel

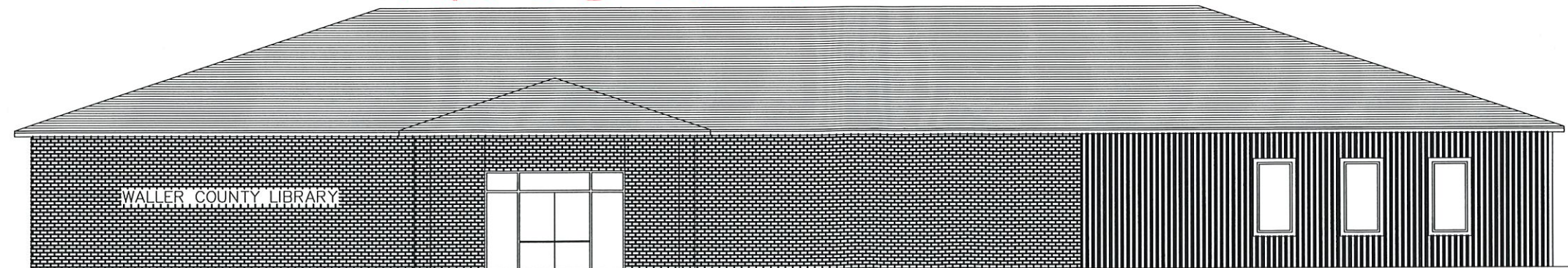
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DAHVAR HAKIMZADEH

PRE-BID CHANGES

- CS COVER SHEET - DRAWING / SHEET INDEX / NEW EAST STREET ELEVATION
- A0.1 NOTES, PROJECT SCOPE, CODES, OCCUPANCY CLASSIFICATION, CONSTRUCTION TYPE, GOVERNING JURISDICTION, ETC.
- A0.2 ADDITIONAL NOTES, SYMBOLS, LEGENDS & ABBREVIATIONS
- A1.1 EXISTING SITE PLAN WITH DEMOLITION / NEW SITE PLAN
- A2.1 EXISTING & DEMOLITION FLOOR PLAN / EXISTING SQUARE FOOTAGES
- A3.1 ADDITION FLOOR PLAN / NEW SQUARE FOOTAGES / ACCESSIBILITY NOTES / DOOR & WINDOW SCHEDULES AND ELEVATIONS
- A3.2 ADDITION WALL FINISH PLAN WITH ADA SIGNAGE LOCATIONS
- A3.3 ADDITION FLOOR & BASE FINISH PLAN
- A3.4 ADDITION REFLECTED CEILING PLAN
- A4.1 FOUNDATION FORMING AND SURFACE FEATURE PLAN
- A5.1 NEW NORTH, WEST & EAST EXTERIOR ELEVATIONS (NO CHANGES TO SOUTH ELEVATION)
- A5.2 ADDITION BUILDING SECTION
- A6.1 NEW ROOF PLAN
- A7.1 NEW INTERIOR ELEVATIONS / NEW ADA HANDICAP RESTROOM INTERIOR ELEVATIONS
- A7.2 ADA SIGNAGE
- A8.1 ADDITION LIGHTING & ELECTRICAL PLAN
- A9.1 DETAILS

NOTE: ALL SHEETS ARE PART OF THIS SET. NO SHEET IS TO BE CONSIDERED SEPARATE FROM THIS SET. THIS SET MAY ALSO INCLUDE OTHER SHEETS NOT LISTED IN THIS INDEX SUCH AS STRUCTURAL ENGINEERING, TRUSS SHEET DRAWINGS, THIS SET MAY ALSO INCLUDE SHEETS BY OTHER CONSULTANTS SUCH AS MEP OR CIVIL ENGINEERS, MECHANICAL, OTHER SHEET DRAWINGS, LANDSCAPING, AUDIO-VISUAL, ALARM SYSTEMS, OR SINGLE HOUSE SYSTEMS, INTERIOR DESIGN, SHAWING, ETC. VERIFY WITH THE GENERAL CONTRACTOR BEFORE PROCEEDING WITH ANY DEMOLITION OR CONSTRUCTION.



NEW STREET ELEVATION - EAST

3/16" = 1'-0"

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PROJ. DATE : 0418  
 PROJECT NO : WCL 194  
 DRAWN BY : DH/DHS  
 CHECKED BY : DH  
 REVISION :  
 REVISION :



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PROJECT:  
 WALLER COUNTY LIBRARY  
 HEMPSTEAD, TEXAS  
 ADDENDUM #1

SHEET  
 8

**GENERAL NOTES:**

1. THE CONSTRUCTION DOCUMENTS WILL NOT BE USED FOR CONSTRUCTION UNLESS DATED & NOTED AS "ISSUED FOR CONSTRUCTION" NOTED ON EACH SHEET (APPROVED "ISSUED FOR PERMIT" SETS N.I.C., S (STRUCTURAL), M, E OR P (MEP) SHEETS EXCLUDED.)
2. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH ALL APPLICABLE CODES, CITY ORDINANCES, DEED RESTRICTIONS, SHOP DRAWINGS, DESIGNER CONTROLLED GUIDELINES, MANUFACTURER'S SPECIFICATIONS, DRAWING DETAILS, PLANS AND ANY SPECIFICATIONS, IF PROVIDED (N.I.C.).
3. THE GENERAL CONTRACTOR MUST OBTAIN ALL REQUIRED APPLICATIONS, PERMITS, & INSPECTIONS, ETC. FOR COMPLETION OF WORK. CONTRACTOR TO PROVIDE ALL WORK MATERIAL IN ACCORDANCE WITH ALL ITEMS MENTIONED IN NOTE #2 ABOVE. PLAN EXPEDITER, IF NECESSARY, WILL ASSIST CONTRACTORS IN FULFILLING ALL PERMITS.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF THE BASE BUILDING SYSTEMS AND ANY U. L. ASSEMBLY RATINGS(S).
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR NOTIFYING DANVAR CONSTRUCTION & DESIGN FOR A FIELD CHECK WHEN:
  - A. ANY UTILITY LINES HAVE BEEN SNAPPED, DAMAGED OR BROKEN.
  - B. GYPSUM WALL BOARD HAS BEEN INSTALLED ON ONE SIDE OF STUDS & TELEPHONE & ELECTRICAL OUTLETS HAVE BEEN LOCATED IN BUILDING OR SPACE.
  - C. BUILD-OUT IS SUBSTANTIALLY COMPLETE FOR AN INSPECTION & PREPARATION OF PUNCH LIST. A FINAL WALK-THROUGH AND PUNCH LIST WILL ALSO BE REQUIRED AFTER MOVE-IN IS POSSIBLE.
6. PROVIDE TEMPORARY ELECTRICAL POWER FOR SMALL TOOLS & LIGHTING PER OSHA REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE ELECTRICAL SUBCONTRACTOR TO CONFIRM TEMPORARY ELECTRICAL CONDITIONS & RESPOND ACCORDINGLY TO PROVIDE TEMPORARY ELECTRICAL POWER. THE GC WILL SUPPLY WORKER TOILET FACILITIES.
7. IF APPLICABLE, SHOT BLAST CONC. FLOOR AFTER PLUMBING PATCH WORK. SEAL ALL FLOORS WITH EPOXY SEALER.

**T.A.S. ACCESSIBLE DESIGN & CONSTRUCTION STANDARDS (IF APPLICABLE):**

BUILDING FACILITIES SHALL BE DESIGNED & CONSTRUCTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE AND CITY OF HOUSTON, TX AMENDMENTS, AS FOLLOWS:

1. ACCESSIBLE DOORS SHALL COMPLY WITH THE FOLLOWING:
  - A. THRESHOLD SHALL BE MAXIMUM 1/2".
  - B. MAX. OPENING FORCE SHALL NOT EXCEED 8.5 POUNDS FOR EXT. HINGED DOOR, 5 LBS. FOR SLIDING OR FOLDING DOOR, 5 LBS. FOR INT. HINGED DOOR.
  - C. DOOR HARDWARE SHALL BE LEVER HANDLE OR EQUIVALENT AND MOUNTED NOT MORE THAN 42" ABOVE THE FINISHED FLOOR.
  - D. DOOR CLOSER, WHERE PROVIDED, SHALL BE ADJUSTED TO CLOSE FROM AN OPEN POSITION OF 70 DEGREES IN NOT LESS THAN FIVE SECONDS TO A POINT 9" FROM THE LATCH.
  - E. ALL DOORS SHALL BE CAPABLE OF OPENING SO THAT THE CLEAR WIDTH OF THE OPENING IS NOT LESS THAN 32", JAMB TO WALL MIN. 18".
2. STORAGE SHELVING:
  - A. SHALL BE WITHIN THE ACCESSIBLE REACH AND ACCESSIBLE HEIGHT.
3. RECEPTACLE/COMMUNICATION SYSTEM RECEPTACLES:
  - A. SHALL BE MOUNTED AT MIN. OF 15" A.F.F.
4. TOILETS @ FIRST FLOOR.
  - A. HEIGHT OF LAVATORY AND SINKS SHALL BE MOUNTED WITH THE RIM OF COUNTER SURFACE NO HIGHER THAN 34" ABOVE THE FINISHED FLOOR. THE TOTAL DEPTH OF CLEAR SPACE BENEATH THE LAVATORY SHALL NOT BE LESS THAN 17". TOE CLEARANCE SHALL NOT BE MORE THAN 6" IN THE TOTAL DEPTH. KNEE CLEARANCE SHALL NOT BE LESS THAN 24" IN HEIGHT AND 30" IN WIDTH.
  - B. FAUCET CONTROL HANDLES SHALL BE LOCATED NOT MORE THAN 17" FROM THE FRONT EDGE OF THE LAVATORY SINK OR COUNTER, AND SHALL COMPLY WITH CODE.
  - C. MIRRORS, DISPENSERS, OTHER FIXTURES OR SHELVES SHALL BE INSTALLED SO THAT THE BOTTOM OF THE TOP OF THE SHELF IS WITHIN 40" OF FLOOR.

**GENERAL CONTRACTOR SUBMITTALS:**

1. THE GENERAL CONTRACTOR SHALL SUBMIT FOR APPROVAL PRIOR TO CONSTRUCTION ALL REQUIRED SHOP DRAWINGS, PRODUCT DATA, MANUFACTURERS SPECIFICATIONS (CUT SHEETS) & PRODUCT SAMPLES. SUBMISSIONS INCLUDE, BUT ARE NOT LIMITED TO:
  - A. SUBMIT SHOP DRAWINGS ON ALL WOOD MILLWORK CONSTRUCTION, ALUMINUM EXTRUSIONS & BRASS METAL, INTERIOR GLAZING & GLASS DOOR/DOORWAY & DETAILS FOR ALL AIR SUPPLY & AIR RETURN RESISTERS MOUNTED IN GYPSUM BOARD SURFACES.
  - B. SUBMIT PRODUCT DATA I/O MANUFACTURERS SPECIFICATIONS (CUT SHEETS) ON HARDWARE APPLIANCES, PROJECTOR SCREENS, AIR SUPPLY & AIR RETURN RESISTERS, LIGHT FIXTURES, PLUMBING FIXTURES & FITTINGS & NON-STANDARD BUILDING ITEMS & ANV165
  - C. SUBMIT SAMPLES OF ALL FLOOR/BASE FINISHES, CEILING FINISHES & CEILING TRIM/HOLDINGS(S), WALL FINISHES/COVERINGS & WALL TRIM/HOLDINGS(S), MILLWORK FINISHES, DOOR/OPENING FINISHES & TRIM, WINDOW FINISHES & TRIM, MAINSCOTS, CHAIR RAILS, HARDWARE FINISHES, & PAINT.

**SITE PREPARATION & DEMOLITION:**

1. ALL DEMOLITION SHALL BE DONE NEATLY & WITHOUT DAMAGE TO REMAINING OR EXISTING CONSTRUCTION. THE DEMOLISHED AREAS SHALL BE CLEARED OF ALL DEBRIS, CLUTTER, FLOOR COVERING & RESIDUE ADHESIVE, ETC. & LEFT CLEAN.
2. WHERE NEW CONSTRUCTION CONNECTS WITH EXISTING CONSTRUCTION, THE CONTRACTOR SHALL DO NECESSARY CUTTING, FITTING & PATCHING. THE CONTRACTOR SHALL FURNISH ALL LABOR & MATERIALS NECESSARY TO COMPLETE THE CONSTRUCTION & PROTECT ALL EXISTING CONSTRUCTION FROM DAMAGE.
3. FOUNDATION AND/OR FLATWORK CONCRETE SLAB DEMOLITION IN EXISTING OCCUPIED BUILDING(S) MUST BE DONE DURING TYPICAL BUSINESS HOURS, UNLESS APPROVED IN ADVANCE BY THE APPROPRIATE AUTHORITIES.
4. FOUNDATION AND/OR FLATWORK CONCRETE SLAB BREAKOUT:
  - A. WHEN BREAKING OUT CONCRETE FOR ANY REWORK REQUIRED:
    1. ALL EXCAVATED AREAS IN THE BUILDING PAD ARE TO BE BACK-FILLED WITH SAND, COMPACTED IN 8" LIFTS BY HAND TAMPING OR WITH A MECHANICAL TAMPING MACHINE.
    2. NEW REINFORCING SHALL BE EQUAL TO EXISTING REINFORCEMENT & SHALL BE OVERLAPPED & TIED TO THE EXISTING REINFORCING.
    3. RE-FLOOR BREAKOUT AREA OVER 6 MIL. POLY. VAPOR BARRIER WITH 5 SACK, 3,000 P.S.I. HARDROCK CONCRETE TO THE SAME DEPTH AS THE EXISTING FOUNDATION, UNLESS NOTED OTHERWISE.

5. OTHER CONCRETE CUTS: CUT HOLES IN CONCRETE FOR PIPING, ETC. WITH APPROPRIATE TOOLS TO ASSURE AN EVEN CUT WITH CLEAN EDGES. CUT HOLES NOT LARGER THAN NECESSARY TO ALLOW PIPE TO FIT THROUGH. ANY HOLES THAT MAY AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING MUST BE APPROVED BY THE STRUCTURAL ENGINEER. SEAL AROUND ALL PIPES WITH TREKMO MONO SEALANT OR EQUAL.
6. CLEAR FLOOR OF ALL MATERIALS THAT COULD IMPEDE CONSTRUCTION. CLEAR WITH EXTREME PREJUDICE. SEE SPECIFICATION MANUAL FOR SHOP BLASTING PREPARATION OF FLOOR.

**CONSTRUCTION NOTES:**

1. THE GENERAL CONTRACTOR & ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS & CONDITIONS SHOWN ON THE PLANS AT THE JOB SITE & SHALL NOTIFY DESIGNER OF ANY DISCREPANCIES, ERRORS OR OMISSIONS AND/OR CONFLICTS WITHIN THESE PLANS, NOTES, DETAILS OR SPECIFICATIONS OR WITH THE BASE BUILDING CONDITIONS. NO ALLOWANCE SHALL BE MADE FOR EXTRA EXPENSE OR TIME DUE TO CONTRACTORS FAILURE OR NEGLIGENCE TO COMPLETELY EXAMINE THE JOB SITE, PLANS AND/OR ALL DOCUMENTS RELATED TO THESE PROJECT.
2. DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN, LARGE SCALE DETAILS/DRAWINGS GOVERN OVER SMALLER SCALE DETAILS/DRAWINGS. DRYMALL SHALL BE DIMENSIONED FROM FINISH FACE TO FINISH FACE OR FROM CENTERLINE OF PARTITION OR COLUMN UNLESS NOTED OTHERWISE. ALL DIMENSIONS ARE CONSISTENT IN THE FOLLOWING MANNER: SLASHES INDICATE A CENTERLINE DIMENSION, ARROWS POINT TO THE SURFACE TO BE LOCATED.
3. SPACES WHICH DO NOT HAVE DIMENSIONS SHOWN ARE FREE-FLOATING & SHOULD BE VERIFIED FOR DIMENSIONS AS-BUILT, UNLESS NOTED OTHERWISE.
4. PARTITIONS THAT TERMINATE AT EXTERIOR CONDITIONS SHALL BE CENTERED ON CENTERLINE OF DOOR OR WINDOW VERTICAL MULLION, CENTERLINE OF COLUMN, TYPICAL, UNLESS NOTED OTHERWISE.
5. PARTITIONS THAT ALIGN WITH SHELL BUILDING PARTITIONS SHALL ALIGN WITH FINISHED FACE OF NEW GYPSUM BOARD LAYER, TYPICAL, UNLESS NOTED OTHERWISE.
6. METAL FABRICATION:
  - A. STRUCTURAL DRAWINGS AND NOTES AS APPLICABLE.
7. WOOD AND PLASTICS:
  - A. ROUGH CARPENTRY:
    1. ALL ROUGH CARPENTRY TO BE SOUTHERN PINE OR DOUGLAS FIR, GRADE NO. 2 OR BETTER.
    2. ALL NAILERS, BLOCKING, GROUNDS, ROUGH BUCKS AND MISCELLANEOUS BLOCKING TO BE FIREPROOFED IN ACCORDANCE WITH MUNICIPAL CODE, AND ALL OTHER APPLICABLE CODES.
  - B. FINISH CARPENTRY AND MILLWORK:
    1. ALL WOODWORK SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE "QUALITY STANDARDS" OF THE AMERICAN WOODWORK INSTITUTE (AWI). ANY ITEM NOT GIVEN A SPECIFIC QUALITY GRADE SHALL BE CUSTOM GRADE.
    2. COORDINATE WORK WITH OTHER TRADES AFFECTED BY INSTALLATION. CABINET CONTRACTOR TO JOB VERIFY ALL DIMENSIONS.
    3. VERIFY EQUIPMENT SIZES AND SPECIFICATIONS PRIOR TO FABRICATION.
    4. ALL WOOD SURFACES NOT RECEIVING PAINT OR PLASTIC LAMINATE SHALL BE SEALED TO PREVENT MOISTURE PENETRATION.
    5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE BRACING AND BLOCKING OF WALLS RECEIVING MILLWORK, SHELVING, ETC.
  - C. PLASTIC LAMINATE:
    1. ALL HIGH PRESSURE DECORATIVE LAMINATE TO BE H65 GRADE 10 (.050") AS MANUFACTURED BY MILSONART OR CHOSEN FROM BUILDING STANDARD SELECTION.
- B. DOORS AND WINDOWS:
  - A. ALL DOORS TO BE SOLID CORE FLUSH DOORS UNLESS NOTED OTHERWISE OR IF RESIDENTIAL. RESIDENTIAL WILL THEN BE DESIGNATED AS "5C".
  - B. FABRICATE DOORS TO MEET THE REQUIREMENTS OF NATIONAL WOODWORK MANUFACTURERS ASSOCIATION (NWWA) AND THE "QUALITY STANDARDS" OF AWI, CUSTOM GRADE.
  - C. ALL GLAZING TO BE CLEAR FLOAT GLASS UNLESS NOTED OTHERWISE. PROVIDE TEMPERED GLASS WHERE INDICATED OR WHERE REQUIRED BY CODE.
  - D. INSTALL GLAZING IN ACCORDANCE WITH INSTRUCTIONS CONTAINED IN THE FLAT GLASS JOBBERS' REPLACE CRACKED, SCRATCHED, BROKEN OR OTHERWISE DAMAGED GLASS. REMOVE ADHERED MATTER AND EXCESS GLAZING MATERIAL.
- C. FINISHES:
  - A. GENERAL:
 

	FLAME SPREAD	FLAME SPREAD INDEX
ENCLOSED VERTICAL EXIT MAYS	CLASS I OR A	0-25
OTHER EXIT MAYS	CLASS II OR B	26-75
ROOMS AND OTHER AREAS	CLASS III OR C	76-200

 FINISHES MAY BE DOWN RATED ONE CLASS WHEN AN AUTOMATIC SPRINKLER SYSTEM IS PROVIDED.
  - B. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PREPARE ALL SURFACES TO RECEIVE FINISHES PER MANUFACTURER'S SPECIFICATIONS.
  - C. CONTRACTORS SHALL LEAVE ALL FINISHED AND ADJOINING SURFACES FREE OF GLUE, PLASTER OR PAINT EXCESS.
  - D. ROUGH FLOOR TO BE PATCHED AND/OR LEVELLED AS NECESSARY TO RECEIVE INDICATED FLOOR FINISHES. CONSULT MANUFACTURER FOR RECOMMENDED PATCHING/LEVELING MATERIALS AND PROCEDURES.
- B. GYPSUM WALLBOARD:
  1. ALL GYPSUM BOARD TO BE TAPED AND FLOATED SMOOTH TO RECEIVE PAINT OR WALLCOVERING AS SPECIFIED ON THE FINISH PLANS. ALL OUTSIDE CORNERS TO HAVE METAL CORNER BEAD AND FLOATED SMOOTH.
  2. DRYMALL FRAMING TO BE MINIMUM 25 GAUGE GALVANIZED METAL STUDS UNLESS NOTED OTHERWISE. SEE TYPICAL WALL SECTIONS.
- C. ACOUSTICAL (WHERE APPLICABLE):
  1. CEILING IS LAY-IN ACOUSTICAL TILE THROUGHOUT TENANT/OWNER SPACE AND HALLWAYS UNLESS NOTED OTHERWISE. NO MAIN TRAYS MAY BE CUT FOR ANY PURPOSE.
  2. WHERE CEILING TILES AND/OR SUSPENSION SYSTEM IS PARTIALLY INSTALLED OR MATERIALS ARE STOCKPILED ON SITE, CONTRACTOR SHALL INVENTORY CONSTRUCTION MATERIALS STORED ON SITE, REPORT TO OWNER AND USE ITEMS MEETING SPECIFICATIONS.
  3. WHERE ACOUSTICAL INSULATION IS INDICATED, PROVIDE US6 THERMAFIBER SOUND ATTENUATION BLANKETS.
- D. RESILIENT FLOORING AND BASE:
  1. PROVIDE COVE TYPE BASE THROUGHOUT EXCEPT WHERE STRAIGHT TYPE BASE IS SPECIFICALLY REQUIRED.

**E. CARPETING (WHERE APPLICABLE)**

1. ALL CARPET TO BE "DIRECT GLUED" UNLESS OTHERWISE NOTED.
2. TENANT/OWNER OR LANDLORD WILL PROVIDE BUILDING STANDARD CARPETING UNLESS NOTED OTHERWISE. SELECTED FROM LANDLORD'S BUILDING STANDARD COLOR PALETTE.

**F. PAINTING (WHERE APPLICABLE)**

1. ALL SURFACES TO BE PRIMED BEFORE APPLICATION OF FINISH, PER MANUFACTURER'S SPECIFICATIONS.
2. PAINTING OF PARTITIONS, COLUMNS AND WALLS WILL BE PAINTED WITH ONE (1) COAT OF PRIMER AND ONE (1) COAT OF FLAT LATEX FROM LANDLORD'S BUILDING STANDARD COLOR PALETTE. ONE (1) ADDITIONAL COAT OF LATEX MAY BE REQUIRED.
3. PAINTING CONTRACTOR TO PROVIDE ONE (1) FULL GALLON CAN OF PAINT FOR TOUCHUP PURPOSES. ONE (1) PER EACH COLOR SPECIFIED.
4. CONTRACTOR SHALL PROVIDE PAINT AND TRANSPARENT FINISHES ON VISIBLE EXTERIOR AND INTERIOR SURFACES AND MATERIALS INCLUDING BUT NOT LIMITED TO:
  - A. SURFACES AND MATERIALS NOT NOTED OR SPECIFIED TO BE DELIVERED WITH FACTORY OR SHOP APPLIED FINISH.
  - B. SURFACES AND MATERIALS NOT SPECIFICALLY NOTED OR SPECIFIED AS REQUIRING PAINT OR TRANSPARENT FINISH.
5. WALLCOVERINGS:
  1. ALL WALLCOVERINGS TO BE APPLIED PER MANUFACTURER'S SPECIFICATIONS.
  2. AT ALL OUTSIDE CORNERS WHERE WALLCOVERING TO PAINT TRANSITIONS OCCUR, WALLCOVERING SHALL BE FINISHED WITH TUCK-IN METAL BEADING.
  3. ALL ELECTRICAL OUTLET COVER PLATES AND LIGHT SWITCHES FALLING ON A WALL FINISHED IN WALLCOVERING SHALL BE WRAPPED WITH WALLCOVERING TO MATCH UNLESS NOTED OTHERWISE. ALL COVER PLATES ON PAINTED WALLS TO BE OFF-WHITE UNLESS NOTED OTHERWISE.

**ADDITIONAL GENERAL NOTES:**  
(UNLESS NOTED OTHERWISE)

1. WALLS & PARTITIONS THAT ARE COVERED ON THE INTERIOR WITH PLASTER, TILE, OR SIMILAR MATERIALS & SUBJECT TO WATER SPLASH SHALL BE PROTECTED WITH APPROVED WATER-PROOF PAPER & SUB SURFACE OF 5/8" NONDER BOARD, UNLESS NOTED OTHERWISE. SEE ANY MAINSCOT DETAILS @ INTERIOR ELEVATIONS.
2. ALL INSULATION SHALL HAVE A FLAME SPREAD RATINGS OF NOT MORE THAN 25 AND A SMOKE DENSITY OF NOT MORE THAN 450.
3. U.N.O. FINISH FLOOR ELEVATION SHALL BE A MINIMUM OF 12" ABOVE THE TOP OF THE NEAREST SANITARY SEWER MANHOLE; IF NO SEWER, THEN THE FINISHED FLOOR SHALL BE 4" ABOVE THE CROWN OF THE STREET.
4. FIRESTOPS SHALL BE CONSTRUCTED OF APPROVED MATERIALS.
5. PROVIDE FIRESTOPPING IN CONCEALED SPACES OF WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10'-0" INTERVALS ALONG THE LENGTH OF THE WALL.
6. PROVIDE FIRESTOPPING AT ALL INTER-CONNECTIONS BETWEEN CONCEALED VERTICAL & HORIZONTAL SPACES SUCH AS OCCURS AT SOFFITS, DROP CEILING & COVE CEILING. SEE ANY BUILDING OR WALL SECTIONS.
7. PROVIDE FIRESTOPPING IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP & BOTTOM OF THE RUN OF STAIRS & BETWEEN STUDS ALONG A IN LINE WITH THE RUN OF THE STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
8. PROVIDE FIRESTOPPING IN OPENINGS AROUND VENTS, PIPES, DUCTS, & SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING & FLOOR LEVELS, WITH NON-COMBUSTIBLE MATERIALS. (TREKMO MONO SEALANT)
9. FOUNDATION SOLE PLATE SHALL BE ANCHORED TO THE FOUNDATION AT 48" O. C. USE TREATED 2 x 6 PINE SET IN MASTIC OR ON 15 LB. FELT.
10. GLAZING IN HAZARDOUS LOCATIONS, SUCH AS GLASS DOORS & PANELS, SHALL COMPLY WITH I.R.C. ALL GLAZING WITH-IN 2' OF ANY DOOR OPENING SHALL BE TEMPERED. SEE FLOOR PLAN(S) FOR DESIGNATION FOR TEMPERED GLASS LOCATIONS.

**MECHANICAL NOTES:**

1. MECHANICAL SUBCONTRACTOR SHALL DESIGN ALL REQUIRED MODIFICATIONS AND SHALL PROVIDE ALL MECHANICAL DRAWINGS REQUIRED FOR PERMIT ON BACKGROUND PLANS PROVIDED BY DESIGNER. FIELD VERIFY EXISTING DUCTWORK, RETURN AIR PATH AND THERMOSTAT.
2. THE GENERAL CONTRACTOR IS TO COORDINATE RELOCATION OF ALL MECHANICAL SYSTEMS, AS REQUIRED, TO ENSURE CONFORMANCE WITH DESIGNED PLANS, SPECIFICATIONS AND SYSTEMS. REFER TO MECHANICAL PLAN FOR AIR SUPPLY AND RETURN. COORDINATE LOCATION WITH REFLECTED CEILING PLAN.
3. FOR AREAS WITH ACOUSTICAL TILE SUSPENDED CEILING ONLY. RETURN AIR IS CHANNLED THROUGH BUILDING STANDARD (B.S.) LIGHT FIXTURES, IN SPACES THAT B.S. LIGHT FIXTURES DO NOT PROVIDE SUFFICIENT RETURN AIR OPENINGS USE 2' x 2' RETURN AIR GRILLES THAT MATCH B.S. 2' x 2' AIR SUPPLY GRILLES UNLESS NOTED OTHERWISE.

**ELECTRICAL / TELEPHONE NOTES:**

1. CODES, PERMITS AND INSPECTIONS:
  - A. ELECTRICAL SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL PERMIT DRAWINGS ON BACKGROUND PLANS PROVIDED BY THE DESIGNER.
  - B. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CODES.
  - C. COMPLY WITH LATEST EDITION OF LOCAL CITY ELECTRICAL CODE AND NATIONAL ELECTRICAL CODE AND OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK. PROVIDE PERMITS REQUIRED AND OBTAIN FINAL INSPECTION AND APPROVAL FROM INSPECTION DEPARTMENT HAVING JURISDICTION.
  - D. COMPLIANCE WITH CODES MAY INCLUDE U.L. WRAPPINGS, WIRE IN CONDUIT OR TEFLOM COATED WIRING.
  - E. REFER TO MECHANICAL FOR FIRE SAFING.
2. LABELING:
  - A. ELECTRICAL CONTRACTOR SHALL:
    - A. LABEL PANELS, CONTROL POINTS, SWITCHES AND MOTORS. IDENTIFY PANEL BY NUMBER, LABEL SWITCHES INDICATING THE EQUIPMENT THAT THEY CONTROL.
    - B. RECORD ALL CIRCUITS AND CIRCUIT NUMBERS ON AS-BUILT DRAWINGS AND LABEL ALL CIRCUITS ON PANEL DIRECTORIES. FIELD VERIFY BRANCH CIRCUIT AVAILABILITY.
    - C. VERIFY VOLTAGE OF ALL LIGHTING FIXTURES SPECIFIED TO ASSURE COMPATIBILITY WITH VOLTAGE SUPPLIED TO DEEMISED SPACE.
    - D. PROVIDE INDUSTRY STANDARD ORANGE RECEPTACLES FOR OUTLETS WITH ISOLATED GROUND, AND YELLOW RECEPTACLES FOR OUTLETS ON DEDICATED CIRCUIT.

**B. SWITCHES AND OUTLETS**

- A. ALL COVER PLATES SHALL BE WHITE UNLESS NOTED OTHERWISE.
  - B. SWITCHES TO THE LEVITON WHITE TOGGLE OR EQUAL.
  - C. GANG OUTLETS AND TELEPHONE JACKS AS CLOSE TOGETHER AS POSSIBLE.
  - D. WHERE MULTIPLE SWITCHES OCCUR IN A ROOM, GANG THEM TOGETHER AS CLOSE AS POSSIBLE, AND LOCATE THEM BEHIND ONE COVER PLATE.
  - E. ELECTRICAL SUBCONTRACTOR SHALL COORDINATE WORK WITH MILLWORK SUBCONTRACTOR FOR ELECTRICAL SWITCHES, OUTLETS OR DEVICES LOCATED WITHIN MILLWORK.
  - F. WALL MOUNTED TELEPHONE OUTLET TO INCLUDE PLASTER RINS. WIRING OF ALL WALL OUTLETS SHALL BE BY THE TELEPHONE COMPANY, WHICH SHALL BE EMPLOYED BY THE TENANT/OWNER.
  - G. IF ANY ELECTRICAL CORE THROUGH SLAB CANNOT BE LOCATED IN THE EXACT DIMENSIONED LOCATION, NOTIFY DESIGNER BEFORE PROCEEDINGS.
  - H. FILL AND LEVEL FLOOR ELECTRICAL AND TELEPHONE BLANK PLATES AND PATCH ANY DAMAGED FLOOR CONDITIONS BEFORE INSTALLATION OF FLOORING.
  - I. WHERE SPECIAL OUTLET TYPES AND/OR POWER REQUIREMENTS ARE CALLED FOR AND SPECIFICATIONS ARE NOT PROVIDED, OBTAIN REQUIREMENTS FROM TENANT/OWNER.
  - J. ALL MOUNTING HEIGHTS ARE TO CENTER OF OUTLETS. ALL WALL OUTLETS SHALL BE MOUNTED AT 15" A. F. & ALL LIGHT SWITCHES & THERMOSTATS TO BE LOCATED AT 42" A. F., UNLESS NOTED OTHERWISE OR IF EXISTING MOUNTING LOCATIONS ARE USED, OR IF MATCHING EXISTING CONSTRUCTION CONDITIONS ARE REQUIRED.
6. ELECTRICAL OUTLETS ON OPPOSITE SIDES OF A COMMON WALL SHALL BE LOCATED ON SEPARATE STUD CAVITIES. NO BACK TO BACK OUTLETS, WHERE SPECIFIC CONDITIONS CONTRADICT THIS NOTE, THE ELECTRICAL CONTRACTOR SHALL RELOCATE ONE OUTLET TO OPPOSITE SIDE OF STUD NEAREST THAT DIMENSION.
4. LIGHTING:
    - A. ELECTRICAL SUBCONTRACTOR MUST VERIFY VOLTAGE OF ALL LIGHT FIXTURES SPECIFIED TO ASSURE COMPATIBILITY WITH VOLTAGE SUPPLIED TO DEEMISED SPACE.
    - B. WHERE RECESSED LIGHTS APPEAR IN A SUSPENDED CEILING, MOUNT THEM IN THE CENTER OF NEAREST CEILING TILE IF APPLICABLE.
    - C. ELECTRICAL CONTRACTORS TO PROVIDE AND INSTALL EXIT LIGHTS AS REQUIRED BY LOCAL CODES AND/OR AS DIRECTED BY FIRE MARSHAL IF APPLICABLE.

**PLUMBING NOTES:**

1. PLUMBING SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL PERMIT DRAWINGS ON BACKGROUND PLANS PROVIDED BY DESIGNER AND SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
2. ROUTE PLUMBING WASTE AS REQUIRED TO EXISTING BUILDING WASTE IN FLOOR SLAB.
3. CUT HOLES IN CONCRETE WALL PANELS FOR PIPING WITH APPROPRIATE TOOLS TO ASSURE AN EVEN CUT WITH CLEAN EDGES. CUT HOLES NOT LARGER THAN NECESSARY TO ALLOW PIPE TO FIT THROUGH. ANY HOLES THAT MAY AFFECT THE STRUCTURAL INTEGRITY OF THE FACILITY MUST BE APPROVED BY THE STRUCTURAL ENGINEER. SEAL AROUND ALL PIPES WITH TREKMO MONO SEALANT OR APPROVED EQUAL.
4. REFER TO MECHANICAL NOTE #1 FOR FIRE SAFING.

**REFLECTED CEILING NOTES (WHERE APPLICABLE):**

1. NOTIFY DESIGNER FOR APPROVAL TO RELOCATE FIXTURES IF CLEARANCE PROBLEMS ARISE IN LOCATION OF LIGHT FIXTURES, RETURN AIR GRILLS, SUPPLY DIFFUSERS AND TROFERS, ETC., AS SHOWN ON THE RCP'S OR MECHANICAL DRAWINGS.
2. TYPICAL CEILING HEIGHT IS 8'-4" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE. ALL CEILING SHALL BE 2' x 4' LAY-IN ACOUSTICAL TILE THROUGHOUT TENANT/OWNER SPACE AND HALLWAYS UNLESS NOTED OTHERWISE.
3. WHERE PAINTED GYPSUM BOARD CEILING IS INDICATED, USE 5/8" GYPSUM BOARD ON 1/8" HIGH HAT FURRING CHANNELS AT 16" O.C. ON 1 1/2" GOLD ROLLED CHANNELS AT 48" O.C. SUSPENDED FROM STRUCTURE.

**PROJECT SCOPE:**

MALLER COUNTY OWNED LIBRARY, PARTIAL DEMOLITION OF EXISTING WITH A NEW CONSTRUCTION ADDITION AND WITH SOME MODIFICATIONS TO EXISTING AND SOME REDEMOLING OF EXISTING.

**ADDRESS OF PROPERTY:**

2331 11TH STREET  
HEMPSTEAD, TEXAS 77445

**JURISDICTION:**

CITY OF HEMPSTEAD, TEXAS AND MALLER COUNTY, TEXAS  
PLAN EXAMINATION

**BUILDING CODES:**

- INTERNATIONAL BUILDING CODE (IBC) - WITH ANY CITY OF HEMPSTEAD AMENDMENTS\*
- INTERNATIONAL EXISTING BUILDING CODE (IEBC) - WITH ANY CITY OF HEMPSTEAD AMENDMENTS\*
- UNIFORM MECHANICAL CODE (UMC) - WITH ANY CITY OF HEMPSTEAD AMENDMENTS\*
- NATIONAL ELECTRIC CODE (NEC) - WITH ANY CITY OF HEMPSTEAD AMENDMENTS\*
- NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) - WITH ANY CITY OF HEMPSTEAD AMENDMENTS\*
- INTERNATIONAL FIRE CODE (IFC) - WITH ANY CITY OF HEMPSTEAD AMENDMENTS\*
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) (COMMERCIAL PROVISIONS) WITH AMENDMENTS & ASHRAE 90.1-2013 AMENDMENTS - ADDITIONALLY WITH ANY CITY OF HEMPSTEAD AMENDMENTS\*
- ANY CITY OF HEMPSTEAD DEVELOPMENT ORDINANCE(S) FOR PLANNING & DEVELOPMENT, ETC.
- ANY APPLICABLE CITY OF HEMPSTEAD DRIVE APPROXIMATES), PARKING OR PUBLIC SIDEWALK ORDINANCES
- ANY APPLICABLE MALLER COUNTY, TEXAS REGULATIONS OR GUIDELINES, ETC.
- AMERICANS WITH DISABILITIES ACT (ADA), PUBLIC LAW 101-336
- TEXAS DEPARTMENT OF LICENSING AND REGULATION (T.D.L.R.)
- TEXAS ACCESSIBILITY STANDARDS (TAS)

\*LATEST ADOPTED VERSION

**OCCUPANCY CLASSIFICATION & CONSTRUCTION TYPE:**

OCCUPANCY GROUP: A-3  
CONSTRUCTION TYPE: EXISTING (CMU) TO REMAIN - TYPE I  
CONSTRUCTION TYPE: ADDITION (NEW) (METAL) BUILDING - TYPE

**PARKING:**

EXISTING PARKING SPACES PROVIDED:	30 (2 MOTORCYCLE, 28 FULL SIZE - 9' MIN. WIDTH)
EXISTING ACCESSIBLE PARKING SPACES PROVIDED:	1 (OF 30, VAN ACCESSIBLE)
ACCESSIBLE PARKING SPACES REQUIRED:	2 (1 VAN ACCESSIBLE)
NEW ACCESSIBLE PARKING SPACES CONVERTED:	1 (NOT VAN ACCESSIBLE)
NEW PARKING SYNOPSIS AFTER RESTRIPTING:	
TOTAL PARKING SPACES PROVIDED:	29 (2 MOTORCYCLE, 28 FULL SIZE - 9' MIN. WIDTH)
ACCESSIBLE PARKING SPACES PROVIDED:	2 (OF 29, 1 VAN ACCESSIBLE)
NON-ACCESSIBLE PARKING SPACES PROVIDED:	27 (OF 29, 2 MOTORCYCLE)
GROSS/NET LOSS - PARKING SPACES PROVIDED:	-1 (FULL SIZE - 9' MIN. WIDTH)

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Owner \_\_\_\_\_ Date \_\_\_\_\_  
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PROJ. DATE : 04/8  
PROJECT NO : Library  
DRAWN BY : DES  
CHECKED BY : DH  
REVISION :  
REVISION :  
REVISION :

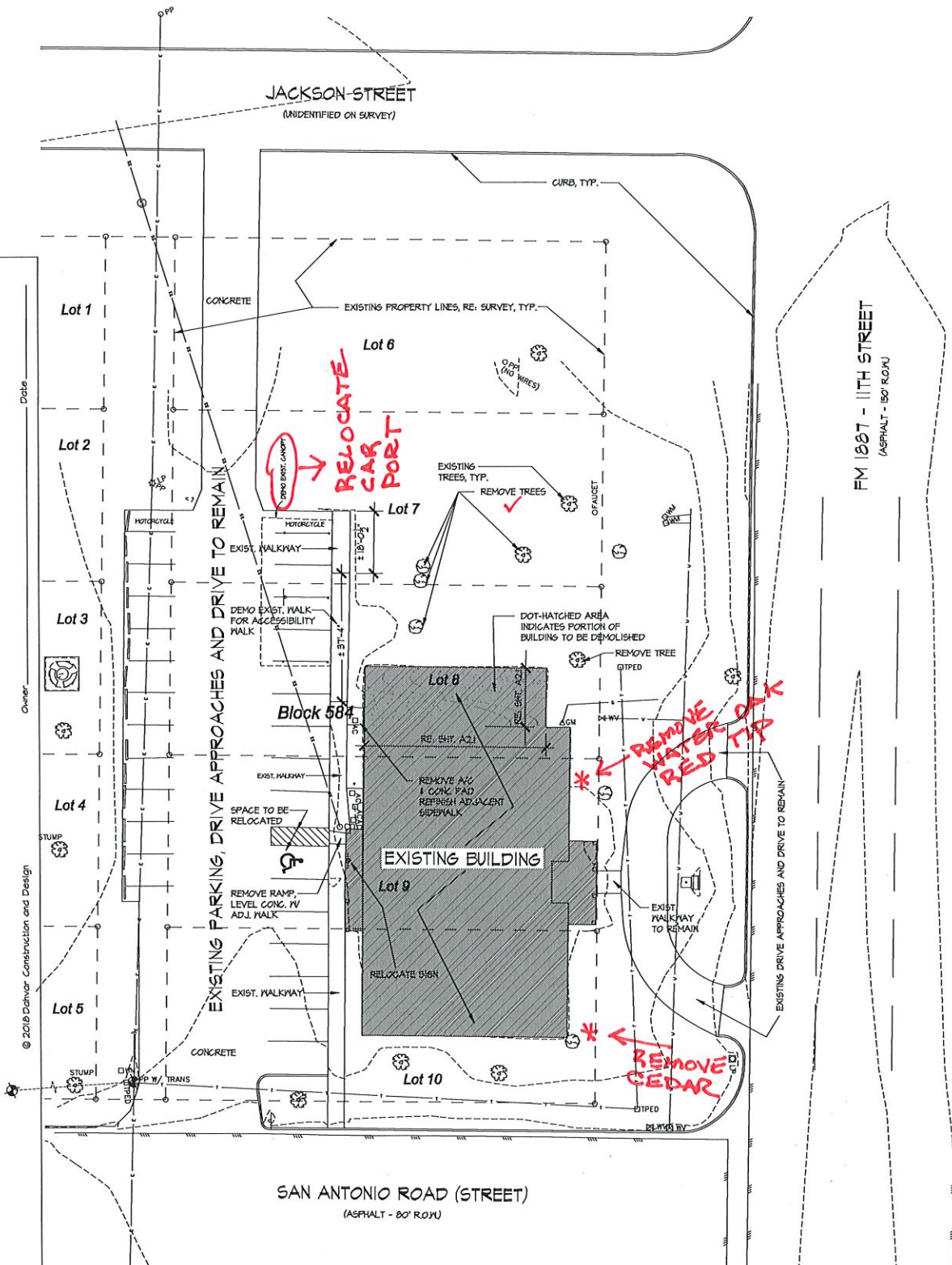
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PROJECT: WALLER COUNTY LIBRARY ADDITION  
HEMPSTEAD, TEXAS  
APPENDUM #1

SHEET  
A01



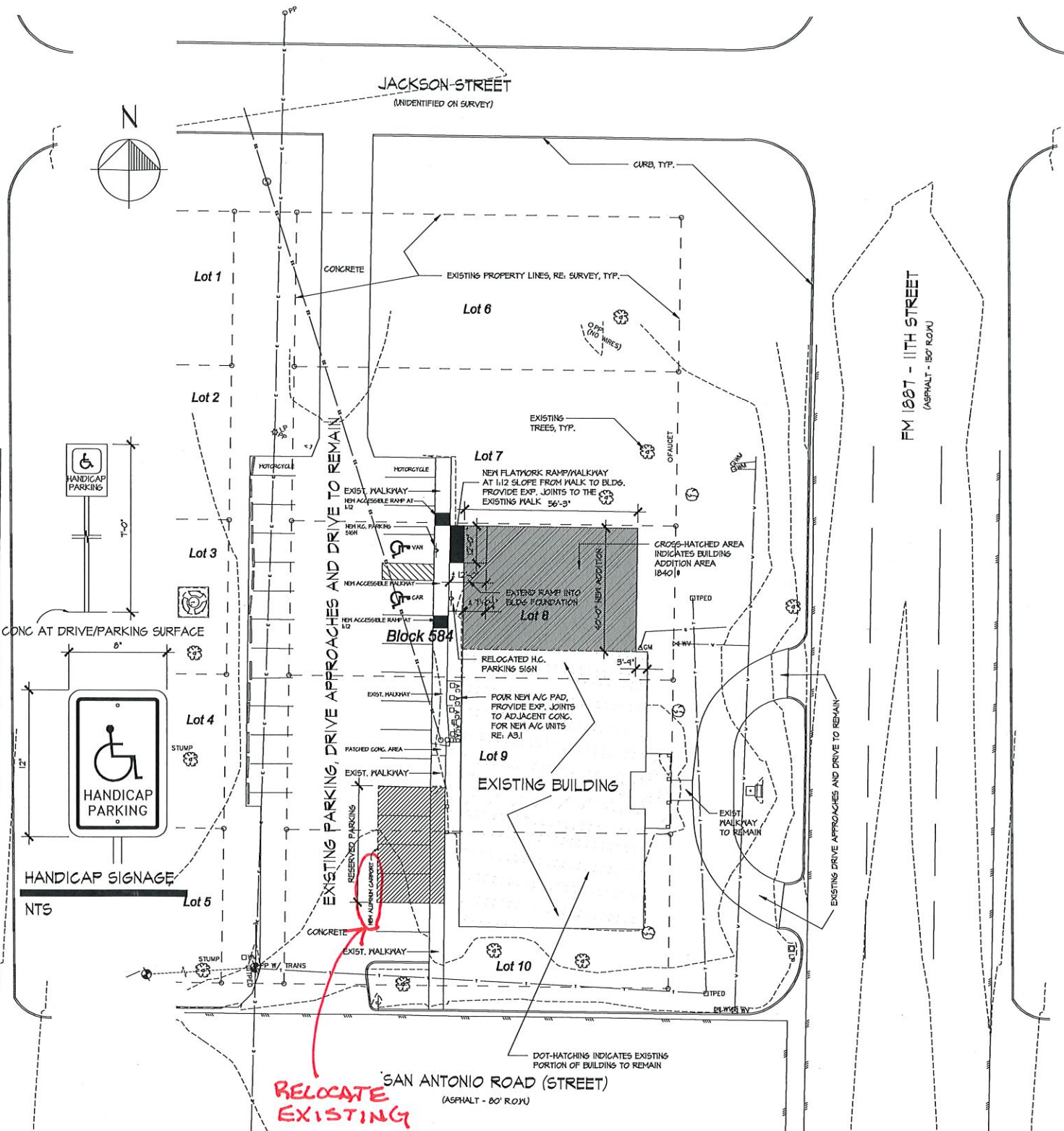
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EXISTING SITE PLAN - WITH DEMOLITION

1" = 20'-0"

2331 11TH STREET, HEMPSTEAD, TEXAS 77445  
 REFER TO EXISTING SURVEY / TOPO  
 NOTE: NO METES & BOUNDS DESCRIPTIONS PROVIDED.  
 EXIST. PARKING TO REMAIN, SOME SPACES TO BE RESTRIPTED.



NEW SITE PLAN (SEE PARKING ANALYSIS SHT. A0.1)

1" = 20'-0"

2331 11TH STREET, HEMPSTEAD, TEXAS 77445  
 REFER TO EXISTING SURVEY / TOPO  
 NOTE: NO METES & BOUNDS DESCRIPTIONS PROVIDED.

- Legend
- Electric Line
  - Water Line
  - Gas Line
  - Sanitary Sewer Line
  - Telephone Line
  - Edge of Pavement
  - Power Pole
  - Open Wire
  - Air Conditioner
  - Clean Out
  - Gas Meter
  - Light Pole
  - Sign
  - Telephone Pedestal
  - Water Meter
  - Water Valve
  - Sanitary Sewer Manhole
  - Tree
  - Ornamental Plant
  - Benchmark
  - Control Point

PROJ. DATE : 04-18  
 PROJECT NO : WCL 194  
 DRAWN BY : DH/DS  
 CHECKED BY : DH  
 REVISION :  
 REVISION :



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PROJECT: WALLER COUNTY LIBRARY  
 HEMPSTEAD, TEXAS  
 ADDENDUM #1  
 SHEET  
 A1.1

REVISION TO COMPLY WITH FOLLOWING TO BE SUBMITTED BY THE FILE EDUCATION LATEST ONLY

PROJ. DATE : 04/8  
 PROJECT NO : WCL 1946  
 DRAWN BY : DH/DHS  
 CHECKED BY : DH  
 REVISION :  
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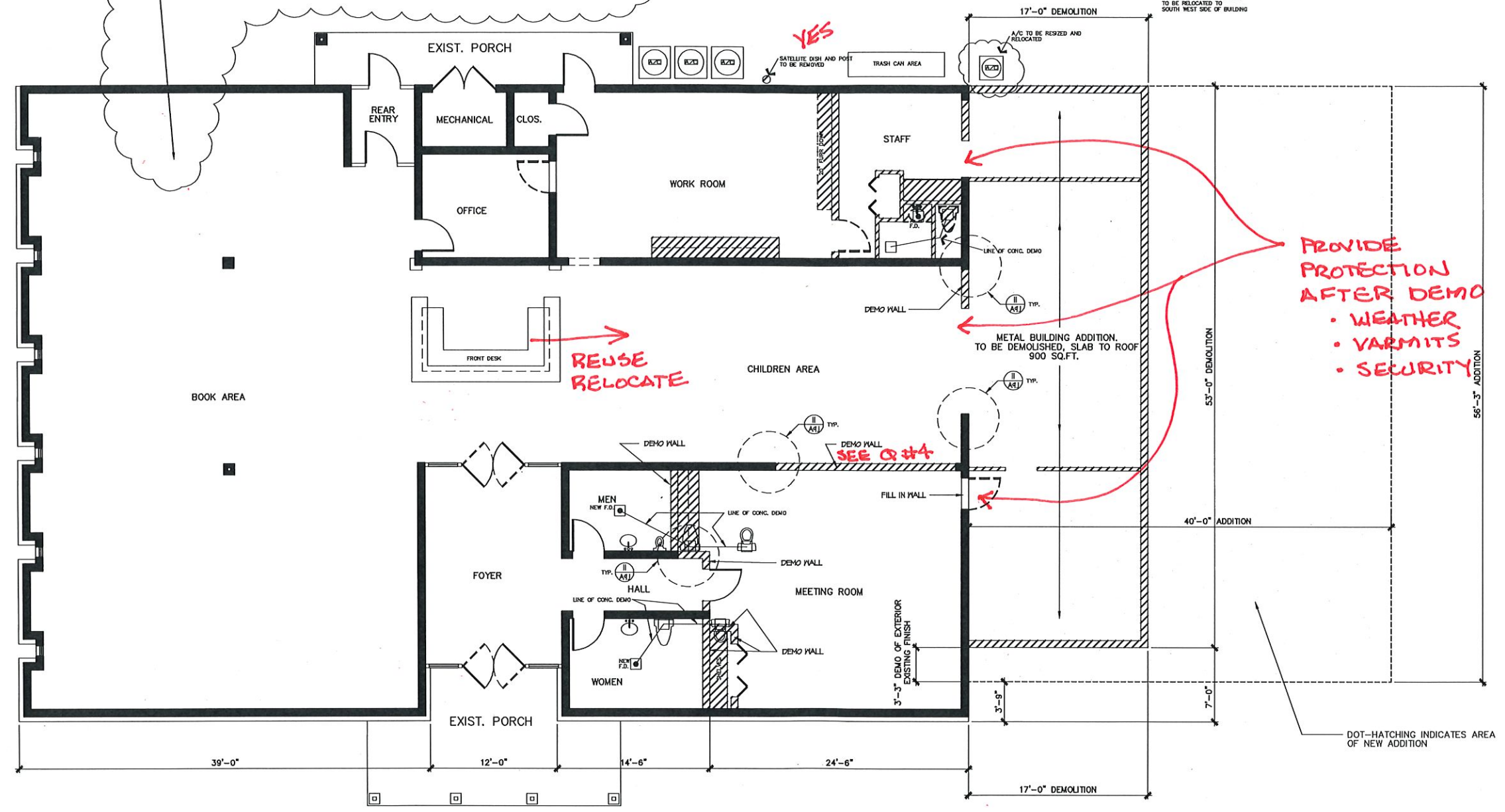
PROJECT:  
 WALLER COUNTY LIBRARY ADDITION  
 HEMPSTEAD, TEXAS  
 ADDENDUM #1

SHEET  
 A21



ALL BASE BID  
 \* NO ALTERNATE  
 POSSIBLE ALTERNATE REMODEL CONDITIONS:

- 1 - REPLACE ALL DROPPED CEILING TILES.
- 2 - REPLACE ALL ELECTRICAL & LIGHTING SWITCHES, ALL TYPES OF OUTLETS, ETC.
- 3 - REPLACE ALL LIGHTING AND CEILING FIXTURES OF ALL TYPES (I.E.D. FOR ALL NEW WHERE APPLICABLE).
- 4 - WIRING OF ALL TYPES BUT ONLY AS REQUIRED FOR NEW CONDITIONS.
- 5 - REPAINT ALL NON-DEMOT. CEILINGS (WHERE APPLICABLE).
- 6 - REPAINT ALL EXISTING NON-DEMOT. WALLS.
- 7 - REPLACE ALL INTERIOR DOORS AND RELATED HARDWARE MATCH WITH CHOSEN NEW TYPES.
- 8 - REPLACE ALL PARTITIONS AND/OR ANY MILLWORK (IF APPLICABLE) AT NON-DEMOT. RESTROOMS.
- 9 - REPLACE ALL PLUMBING FIXTURES AT NON-DEMOT. RESTROOMS.
- 10 - REPLACE ALL TPK, HAND DRYERS, PAPER TOWEL & SOAP DISPENSERS.
- 11 - SEE APPROPRIATE SHEETS FOR ADDITIONAL ALTERNATE CONDITIONS.
- 12 - SEE APPROPRIATE SHEETS FOR ADDITIONAL APPLICABLE INFORMATION RELATED TO THE ABOVE.



EXISTING & DEMOLITION FLOOR PLAN  
 3/16" = 1'-0"

TOTAL LINEAR FOOTAGES

BLOCK WALL DEMO	88'-0" L.F.
METAL FRAME WALL DEMO	121'-0" L.F.
CABINERY STRUCTURES DEMO	41'-0" L.F.
6" SAW CUT CONCRETE	32'-0" L.F.

LEGEND

	DEMOLISHED WALLS AND STRUCTURES
	EXISTING WALLS TO REMAIN
	FILLED OPENINGS

FOUNDATION TO COMPLY WITH FOLLOWING:  
 TO BE SUPERCEDED BY ENG. DWG.  
 FOUNDATION LAYOUT ONLY

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PROJECT NO : WCL 1349  
DRAWN BY : DR/DHS  
CHECKED BY : DH  
REVISION :  
REVISION :  
REVISION :



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PROJECT:  
WALLER COUNTY LIBRARY ADDITION  
HEMPSTEAD, TEXAS  
ADDENDUM #1

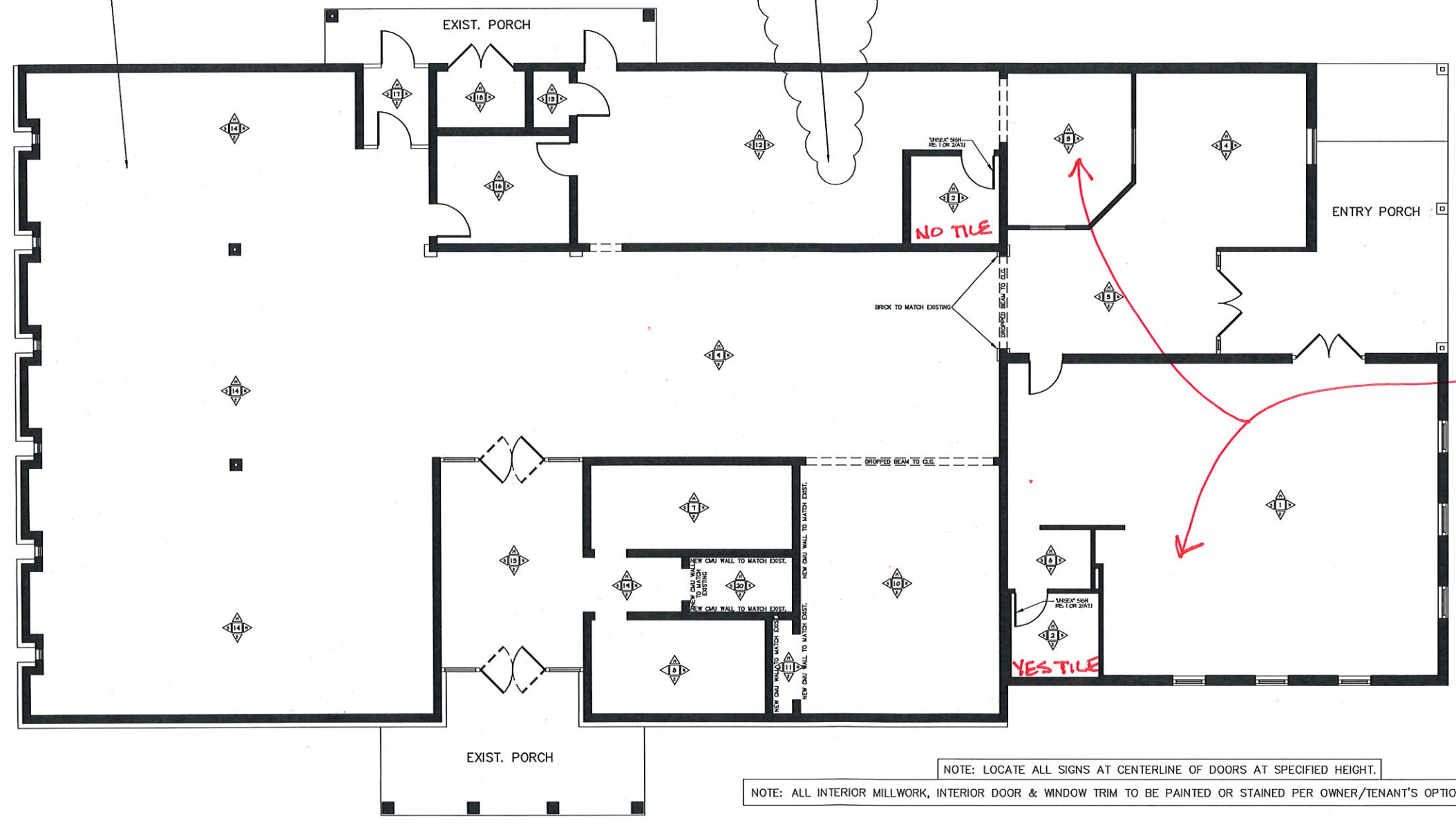
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A32

PLOT DATE: 02/22/14



DOT-HATCHING INDICATES EXISTING WITH RENOVATIONS AS INDICATED.

NOT AN ALTERNATE  
POSSIBLE ALTERNATE REMODEL CONDITIONS.  
1 - REPAINT ALL EXISTING NON-DENOD. WALLS.  
YES, PART OF BASE BID.



NOTE: LOCATE ALL SIGNS AT CENTERLINE OF DOORS AT SPECIFIED HEIGHT.

NOTE: ALL INTERIOR MILLWORK, INTERIOR DOOR & WINDOW TRIM TO BE PAINTED OR STAINED PER OWNER/TENANT'S OPTION &/OR SELECTION.

ADDITION WALL FINISH PLAN WITH ADA HANDICAP SIGNAGE LOCATIONS

3/16" = 1'-0"

#	ROOM OR AREA	NORTH	SOUTH	EAST	WEST	NOTES	TEXTURE	COLOR	POSSIBLE FINAL FINISHES
1	NEW MEETING ROOM	2 COATS OF SATIN LATEX ON 1 COAT OF PRIMER					OWNER / TENANT OPTION	OWNER / TENANT OPTION	OWNER / TENANT OPTION
2	UNSEX RESTROOMS	2 COATS OF SATIN LATEX ON 1 COAT OF PRIMER				COMMERCIAL GRADE TILE FINISH AT DESIGNATED AREAS	OWNER / TENANT OPTION	OWNER / TENANT OPTION	OWNER / TENANT OPTION
3	OFFICE	2 COATS OF SATIN LATEX ON 1 COAT OF PRIMER					OWNER / TENANT OPTION	OWNER / TENANT OPTION	OWNER / TENANT OPTION
4	BUSINESS CENTER	2 COATS OF SATIN LATEX ON 1 COAT OF PRIMER					OWNER / TENANT OPTION	OWNER / TENANT OPTION	OWNER / TENANT OPTION
5	FOYER 2	2 COATS OF SATIN LATEX ON 1 COAT OF PRIMER					OWNER / TENANT OPTION	OWNER / TENANT OPTION	OWNER / TENANT OPTION
6	NEW VESTIBULE	2 COATS OF SATIN LATEX ON 1 COAT OF PRIMER					OWNER / TENANT OPTION	OWNER / TENANT OPTION	OWNER / TENANT OPTION
7	EXISTING MEN'S RESTROOM	2 COATS OF SATIN LATEX OVER EXISTING				COMMERCIAL GRADE TILE FINISH AT DESIGNATED AREAS	OWNER / TENANT OPTION	OWNER / TENANT OPTION, OTHERWISE NO CHANGE	OWNER / TENANT OPTION
8	EXISTING WOMEN'S RESTROOM	2 COATS OF SATIN LATEX OVER EXISTING				COMMERCIAL GRADE TILE FINISH AT DESIGNATED AREAS	OWNER / TENANT OPTION	OWNER / TENANT OPTION, OTHERWISE NO CHANGE	OWNER / TENANT OPTION
9	EXISTING CHILDREN, NEW READING LOUNGE / FRONT DESK	SEE NOTES	SEE NOTES	SEE NOTES	SEE NOTES	REFINISH RENOVATED AREAS TO MATCH EXISTING. SEE COLOR	OWNER / TENANT OPTION	OWNER / TENANT OPTION	OWNER / TENANT OPTION
10	EXISTING MEETING ROOM, NEW HIGH SCHOOL AREA	SEE NOTES	SEE NOTES	SEE NOTES	SEE NOTES	REFINISH RENOVATED AREAS TO MATCH EXISTING. SEE COLOR	OWNER / TENANT OPTION	OWNER / TENANT OPTION	OWNER / TENANT OPTION
11	STORAGE 2	2 COATS OF SATIN LATEX ON 1 COAT OF PRIMER				MATCH STORAGE 1, SEE COLOR	OWNER / TENANT OPTION	OWNER / TENANT OPTION	OWNER / TENANT OPTION
12	STAFF WORK ROOM	SEE NOTES	SEE NOTES	SEE NOTES	SEE NOTES	REFINISH RENOVATED AREAS TO MATCH EXISTING	OWNER / TENANT OPTION	OWNER / TENANT OPTION, OTHERWISE NO CHANGE	OWNER / TENANT OPTION
13	EXISTING FOYER, NEW FOYER 1	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE				OWNER / TENANT OPTION
14	EXISTING BOOKS & NEW CHILDREN'S AREA	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE				OWNER / TENANT OPTION
15	CLOSET	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE				OWNER / TENANT OPTION
16	EXISTING STORAGE, NEW STORAGE 1	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE				OWNER / TENANT OPTION
17	EXISTING EMPLOYEE ENTRY	NO CHANGE	NO CHANGE	NO CHANGE	NO CHANGE				OWNER / TENANT OPTION
18	EXISTING MECHANICAL	N/A	N/A	N/A	N/A				OWNER / TENANT OPTION
19	EXISTING HALL	SEE NOTES	SEE NOTES	SEE NOTES	SEE NOTES	REFINISH RENOVATED AREAS TO MATCH EXISTING	OWNER / TENANT OPTION	OWNER / TENANT OPTION, OTHERWISE NO CHANGE	OWNER / TENANT OPTION
20	STORAGE 3	2 COATS OF SATIN LATEX ON 1 COAT OF PRIMER				MATCH STORAGE 1, SEE COLOR	OWNER / TENANT OPTION	OWNER / TENANT OPTION	OWNER / TENANT OPTION

ALL EXISTING WALL TO BE REPAINTED.

SEE Q # 11



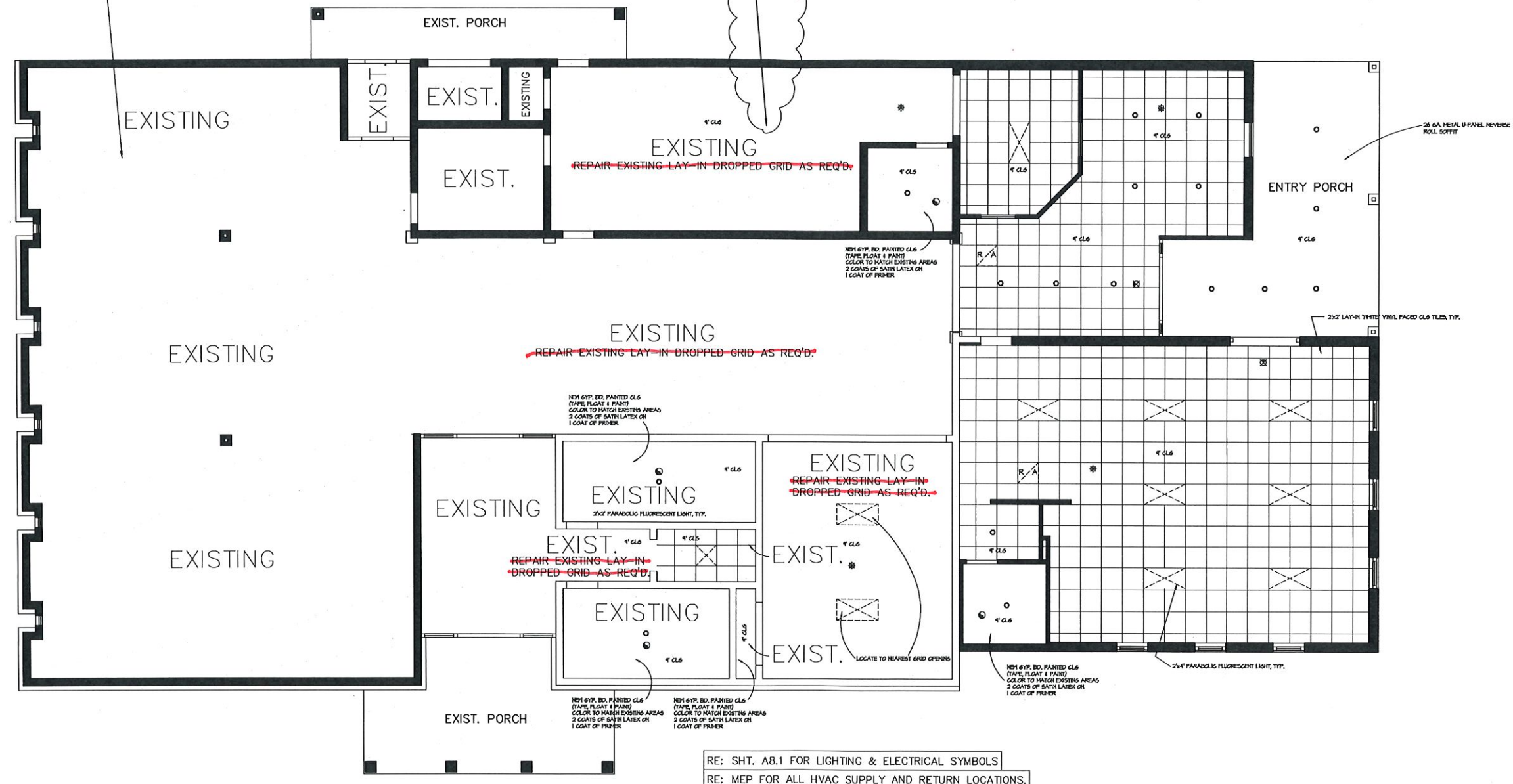


DOT-HATCHING INDICATES EXISTING WITH RENOVATIONS AS INDICATED.

? NO - BASE BID

- POSSIBLE ALTERNATE REMODEL CONDITIONS:**
- 1 - REPLACE ALL DROPPED CEILING TILES.
  - 2 - REPLACE ALL LIGHTING AND CEILING FIXTURES OF ALL TYPES (I.E.D. FOR ALL NEW WHERE APPLICABLE).
  - 3 - PRIME OF ALL TYPES BUT ONLY AS REQUIRED FOR NEW CONDITIONS.
  - 4 - REPAINT ALL NON-DEM'D. CEILINGS (WHERE APPLICABLE).

FOUNDATION TO COMPLY WITH FOLLOWING:  
TO BE SUPERCEDED BY ENG. DWG.  
FOUNDATION LAYOUT ONLY



RE: SHT. A8.1 FOR LIGHTING & ELECTRICAL SYMBOLS  
RE: MEP FOR ALL HVAC SUPPLY AND RETURN LOCATIONS.

**ADDITION REFLECTED CEILING PLAN**  
3/16" = 1'-0"

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 PROJECT NO : WCL 149  
 DRAWN BY : DH/DHS  
 CHECKED BY : DH  
 REVISION :  
 REVISION :



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PROJECT:  
**WALLER COUNTY LIBRARY ADDITION**  
**HEMPSTEAD, TEXAS**  
**ADDENDUM # 1**

SHEET  
**A34**



PROJ. DATE : 04B  
 PROJECT NO : WCL 149  
 DRAWN BY : DH/DHS  
 CHECKED BY : DH  
 REVISION :  
 REVISION :



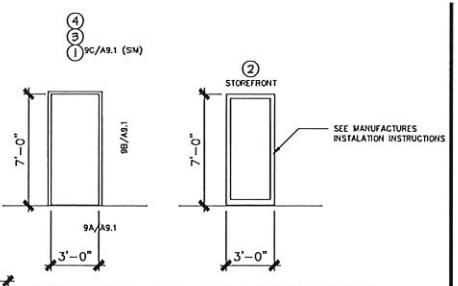
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 HEMPSTEAD, TEXAS  
 ADDENDUM #1

SHEET  
 A31

PL. DATE: 05/04/14

#	SIZE	TYPE	NOTES / HARDWARE	STYLE
1	3'x7' (3070 36" x 84")	SOLID CORE 1 3/4" / SLAB, U.N.G.	2 KICK PANELS, DOOR STOP, ADA LEVER HANDLE, PRIVACY PASSAGE SET	SELECTED BY TENANT
2	2'-3"x7' (2-3070 36" x 84")	METAL FRAME STOREFRONT (TEMP. GLASS)	MAGNETIC, PANIC BAR, DOOR STOP, CLOSER, ADA APPROVED, DBL. CYLINDER LOCKSET	MATCH EXISTING STOREFRONT GLASS
3	3'x7' (3070 36" x 84")	SOLID CORE 1 3/4" / SLAB, U.N.G.	2 KICK PANELS, DOOR STOP, ADA LEVER HANDLE, SINGLE CYLINDER LOCK SET	SELECTED BY TENANT
4	3'x7' (3070 36" x 84")	SOLID CORE 1 3/4" / SLAB, U.N.G.	2 KICK PANELS, DOOR STOP, ADA LEVER HANDLE, DOUBLE CYLINDER LOCK SET	SELECTED BY TENANT

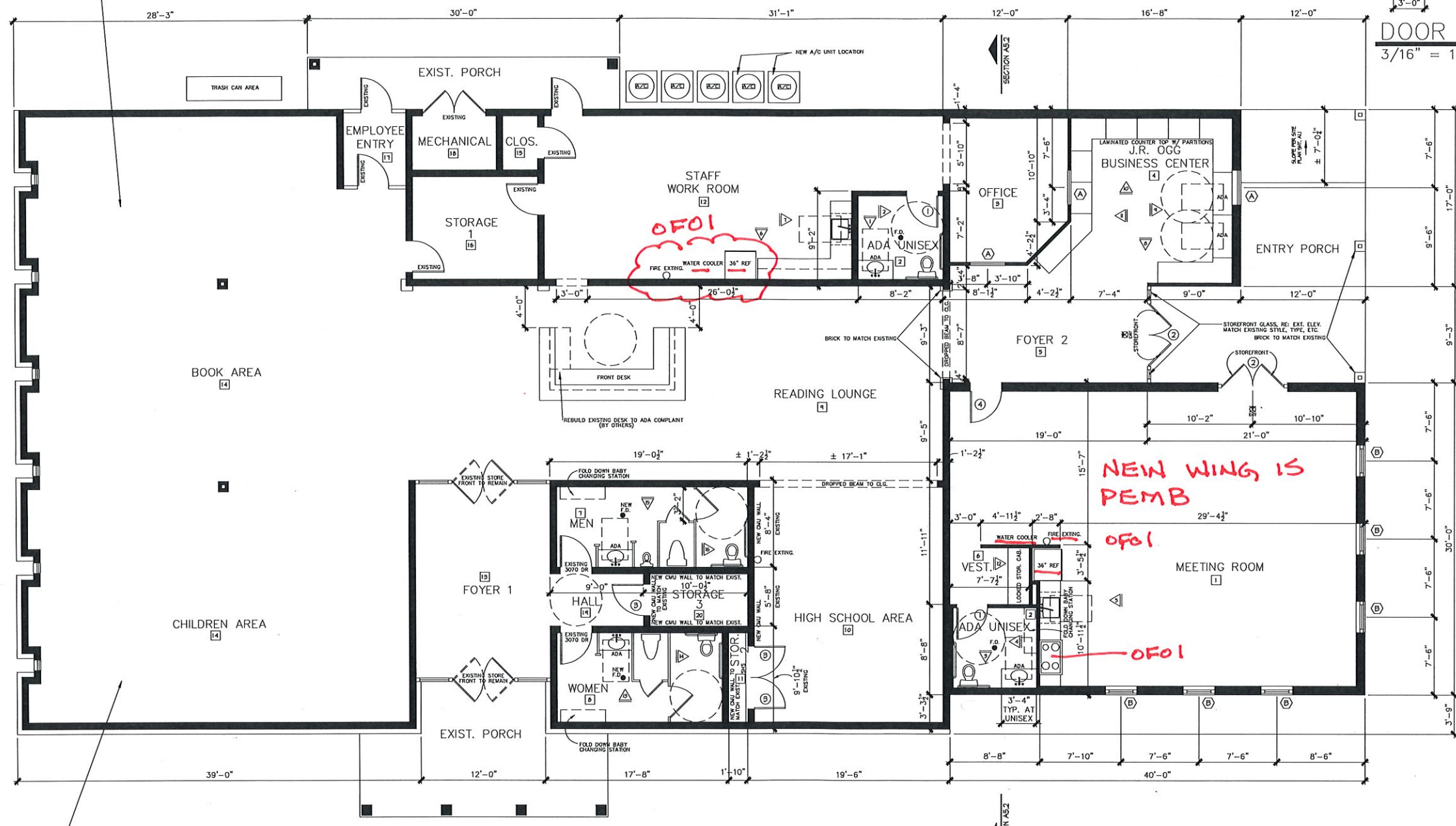


DOOR ELEVATIONS  
 3/16" = 1'-0"

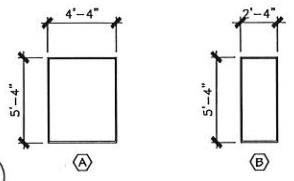
- ACCESSIBILITY NOTES
- All work shall conform to Article 192, Texas Civil Statutes, Texas Accessibility Standards.
  - Maneuvering clearances at doors shall be as follows:  
 PULL SIDE w/ Front Approach- min. 18" clear from strike to nearest obstruction, with a clear floor area of 60" minimum in front of wall plane.  
 PUSH SIDE w/ Front Approach- min. 12" clear from strike to nearest obstruction if door has both latch and closer, with a clear floor area of 48" minimum in front of wall plane.  
 PULL SIDE w/ Hinge Side Approach- min. 36" clear from strike to nearest obstruction when the clear floor area in front of wall plane is 60" minimum; when the clear floor area is 54" minimum, then strike clearance must be 42".  
 PUSH SIDE w/ Hinge Side Approach- min. 42" clear floor area in front of wall plane; min. 48" if door has both a latch and closer) and 54" minimum width from strike to nearest obstruction.  
 PULL SIDE w/ Latch Side Approach- min. 48" clear floor area in front of wall plane; min. 54" if door has a closer) and 24" minimum width from strike to nearest obstruction.  
 PUSH SIDE w/ Latch Side Approach- min. 42" clear floor area in front of wall plane (min. 48" if door has both a latch and closer) and 24" minimum width from strike to nearest obstruction.
  - Floor level changes, such as thresholds, between 1/4" and 1/2" vertical, shall be beveled with a slope no greater than 1:2. level changes greater than 1/2" shall be treated as a ramp.
  - All doors shall have lever style hardware. Adjust all door closers so that the sweep period from an open position of 70° is at least three seconds to a point 3" from the latch. Adjust all door closers on interior doors for a maximum pulling or pushing force of 5 lbs; all exterior doors 8 lbs.
  - All toilet facilities are new and fully accessible as noted and shown herein.
  - Unless noted otherwise all wall outlets are to be located 15" A.F.F. Unless noted otherwise all wall light switches are to be located 48" A.F.F.
  - Owner's fire alarm (if any) shall comply with audible and visual requirements of ADA.
  - Any object projecting from a wall in a primary circulation path shall protrude no more than 4" into the walk path, when such object is mounted between 27" and 80" A.F.F.
  - Any slope supplied by Owner shall comply with Accessibility requirements.



DOT-HATCHING INDICATES EXISTING WITH RENOVATIONS AS INDICATED.



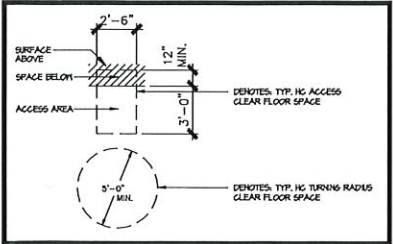
ADDITION FLOOR PLAN  
 3/16" = 1'-0"



WINDOW ELEVATIONS  
 3/16" = 1'-0"

UNIT	NOMINAL R.O. SIZE	TYPE / REMARKS	ADDITIONAL REMARKS	LITES	QUANTITY
A	4'-4" x 5'-4"	4454 FG AT 8'-8" HD. HT.	MATCH STYLE AND TYPE OF EXISTING WINDOWS	1	3
B	2'-4" x 5'-4"	2454 FG AT 8'-8" HD. HT.	MATCH STYLE AND TYPE OF EXISTING WINDOWS	1	6
C					
D					
E					

HANDICAP LEGEND



PAINT ALL INTERIORS SPACES IN EXISTING.

FOUNDATION TO COMPLY WITH FOLLOWING:  
 TO BE SUPERCEDED BY ENG. DWG.  
 FOUNDATION LAYOUT ONLY

TOTAL AREA

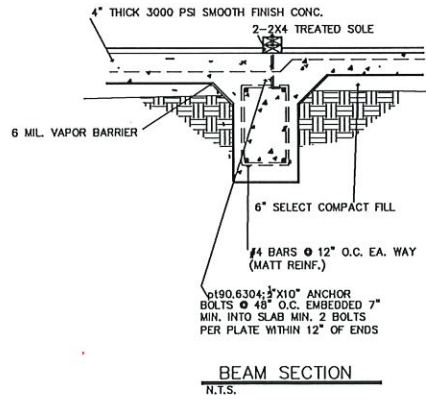
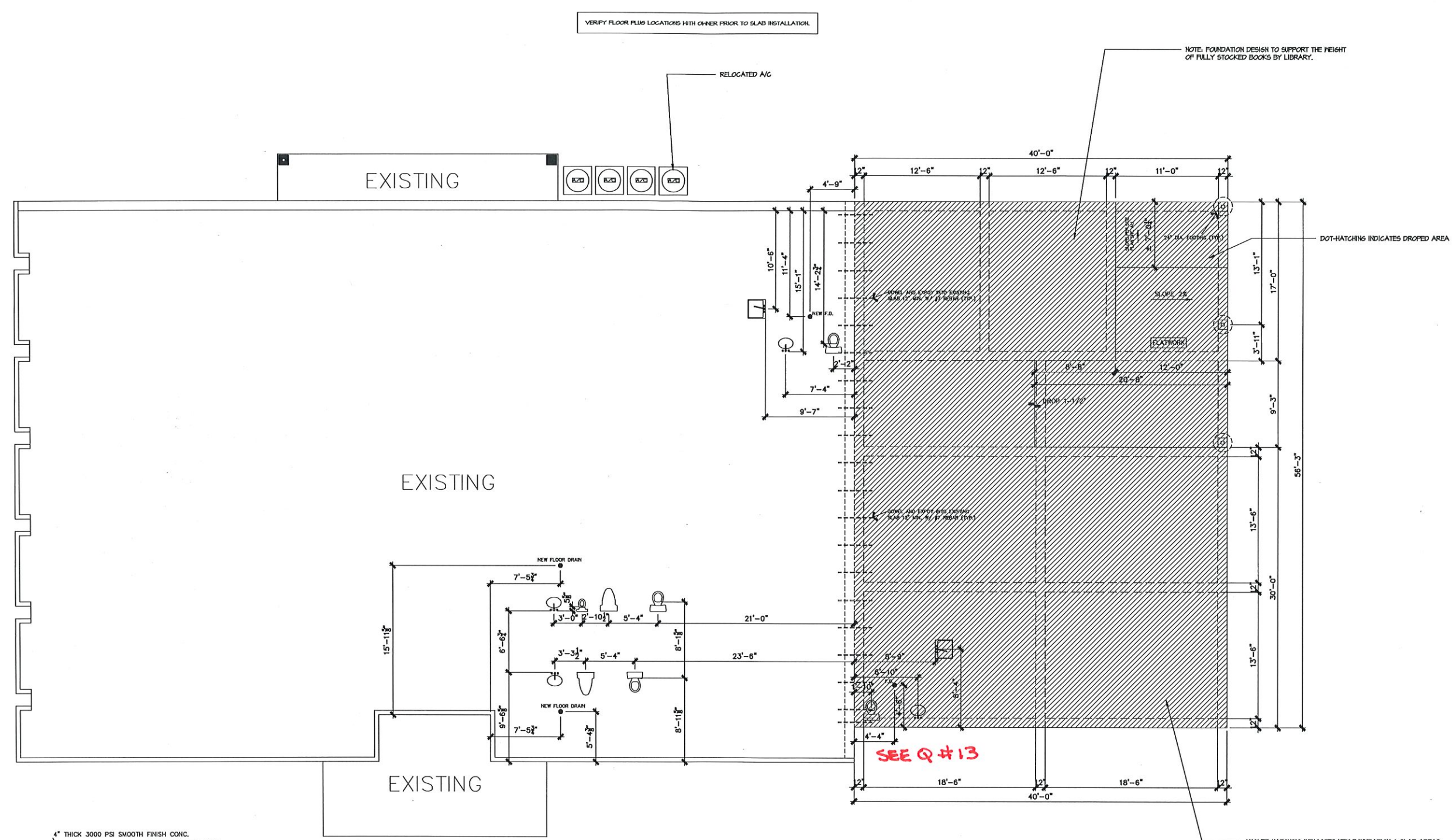
ORIGINAL BLOCK BUILDING	5340 S.F.
METAL FRAME ADDITION	1840 S.F.
COVERED PORCHES	926 S.F.
<b>TOTAL AREA</b>	<b>8106 S.F.</b>

NO BASE BID

- POSSIBLE ALTERNATE REMODEL CONDITIONS:
- REPLACE ALL DROPPED CEILING TILES.
  - REPLACE ALL ELECTRICAL & LIGHTING SWITCHES, ALL TYPES OF OUTLETS, ETC.
  - REPLACE ALL LIGHTING AND CEILING FIXTURES OF ALL TYPES (I.E.D. FOR ALL NEW WHERE APPLICABLE).
  - WIRING OF ALL TYPES BUT ONLY AS REQUIRED FOR NEW CONDITIONS.
  - REPAINT ALL NON-DEMOT. CEILINGS (WHERE APPLICABLE).
  - REPAINT ALL EXISTING NON-DEMOT. WALLS.
  - REPLACE ALL INTERIOR DOORS AND RELATED HARDWARE, MATCH WITH CHOSEN NEW TYPES.
  - REPLACE ALL PARTITIONS AND/OR ANY MILLWORK (IF APPLICABLE) AT NON-DEMOT. RESTROOMS.
  - REPLACE ALL PLUMBING FIXTURES AT NON-DEMOT. RESTROOMS.
  - REPLACE ALL TUBS, HAND DRYERS, PAPER TOWEL & SOAP DISPENSERS.
  - SEE APPROPRIATE SHEETS FOR ADDITIONAL ALTERNATE CONDITIONS.
  - SEE APPROPRIATE SHEETS FOR ADDITIONAL APPLICABLE INFORMATION RELATED TO THE ABOVE.

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## FOUNDATION FORMING & SURFACE FEATURE PLAN

3/16" = 1'-0"

- FOUNDATION NOTES**
- FOUNDATION TO COMPLY WITH FOLLOWING:  
 TO BE SUPERCEDED BY ENG. DWG.  
 FOUNDATION LAYOUT ONLY.
- #4 BARS @ 12" O.C. EA. WAY (MATT REINF.)
  - 6" SELECT COMPACT FILL
  - #6 CORNER BARS 2 TOP 2 BOTTOM
  - #3 STIRRUPS @ 36" O.C.
  - 6" MIN. INTO UNDISTURBED SOIL

TOTAL AREA	
ORIGINAL BLOCK BUILDING	5340 S.F.
METAL FRAME ADDITION	1840 S.F.
COVERED PORCHES	926 S.F.
<b>TOTAL AREA</b>	<b>8106 S.F.</b>

PROJ. DATE : 04/8  
 PROJECT NO : Library  
 DRAWN BY : DH/DHS  
 CHECKED BY : DH  
 REVISION :  
 REVISION :



**DAHVAR Construction and Design**  
 979-270-0733 / dahvar@gmail.com

PROJECT: **WALLER COUNTY LIBRARY ADDITION**  
**HEMPSTEAD, TEXAS**  
**ADDENDUM #1**

SHEET  
**A41**

FOUNDATION TO COMPLY WITH FOLLOWING:  
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 FOUNDATION LAYOUT ONLY

PROJ. DATE : 04/8  
 PROJECT NO : WCL 149  
 DRAWN BY : DHS  
 CHECKED BY : DH  
 REVISION :  
 REVISION :



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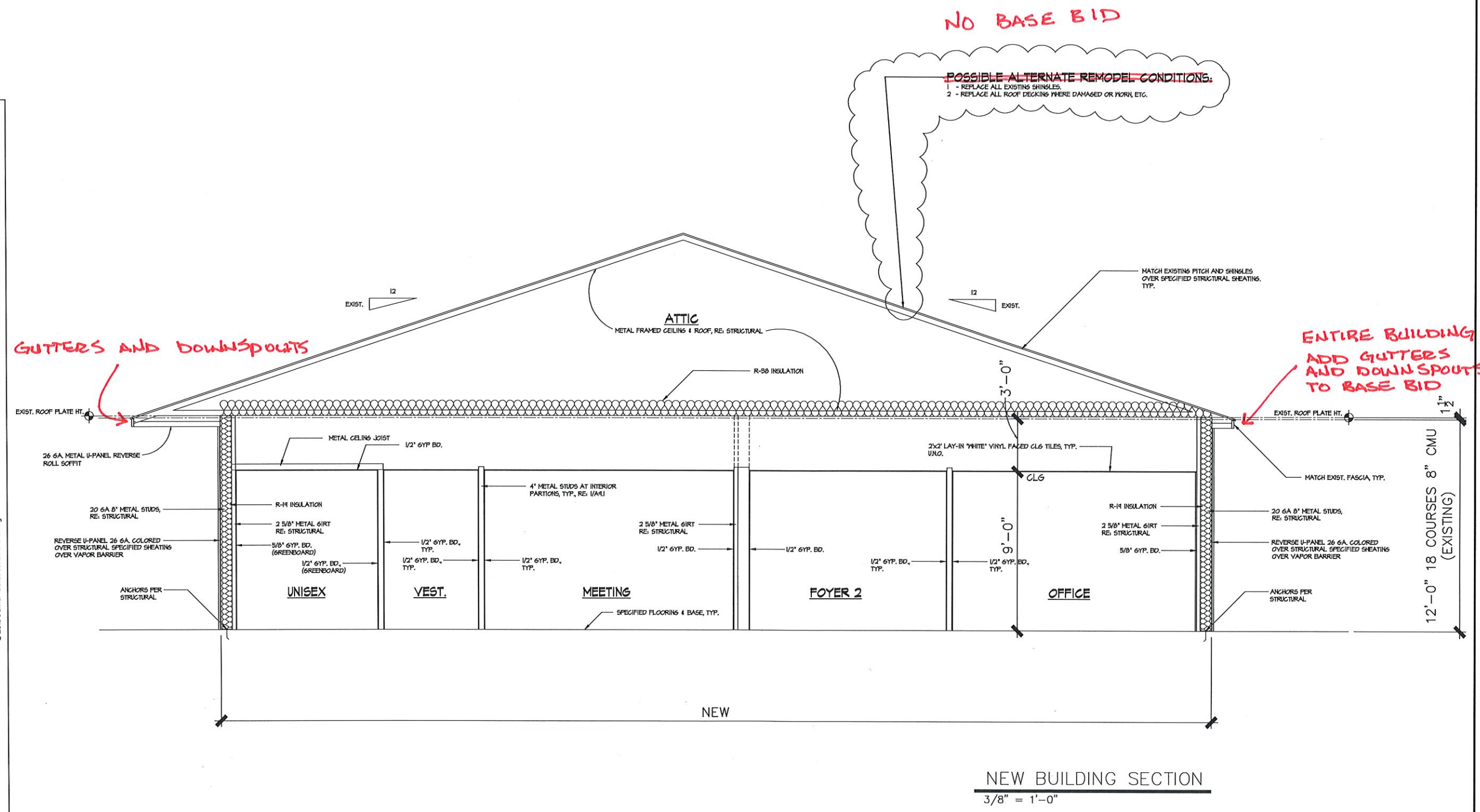
PROJECT:  
 WALLER COUNTY LIBRARY ADDITION  
 HEMPSTEAD, TEXAS  
 ADDENDUM #1

SHEET  
 A52

PLOT DATE: 05/10/14

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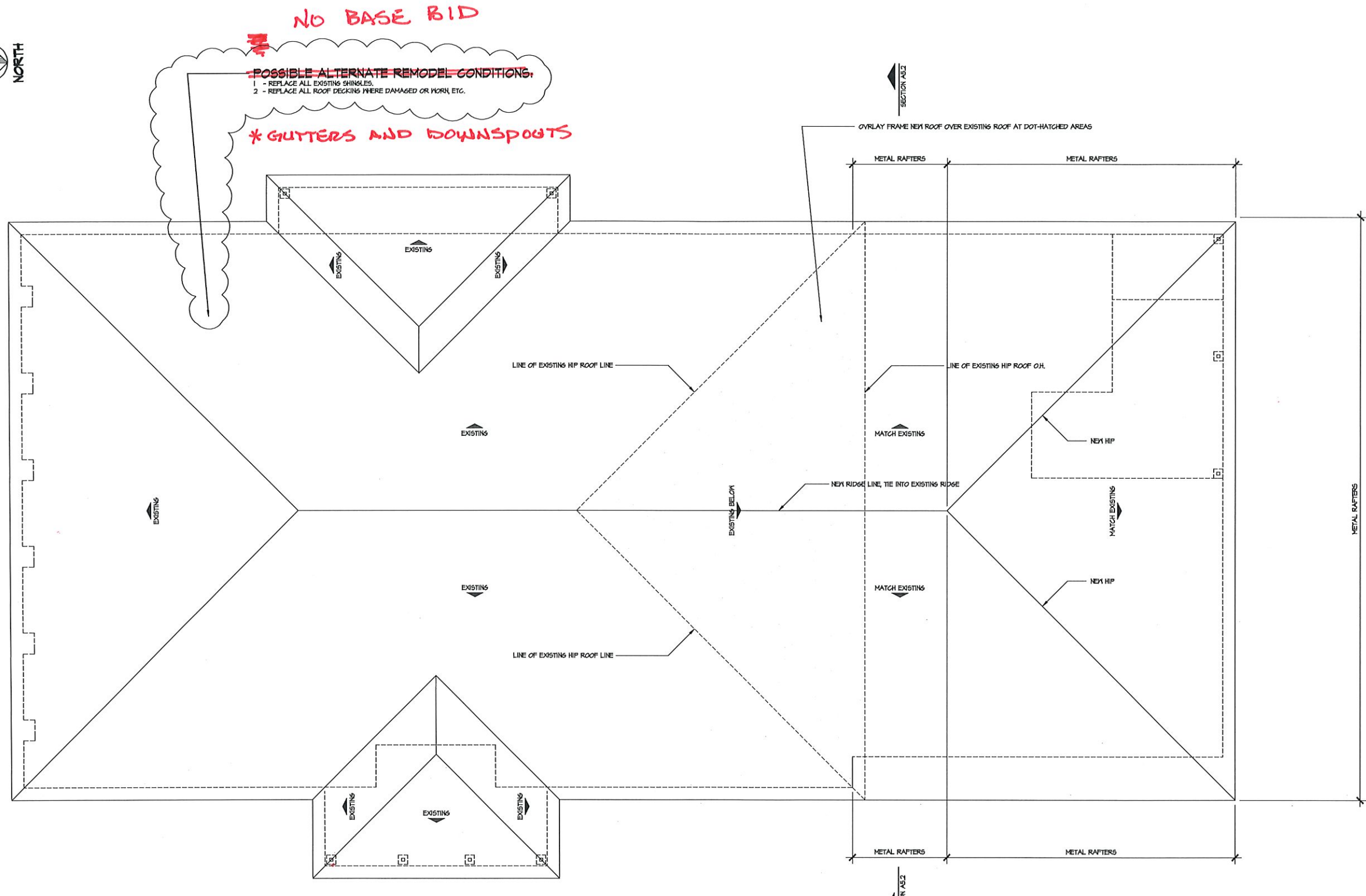
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NAME: G. DAHVAR... DATE: FEB 22, 2018 TIME: ...  
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ADDITION ROOF PLAN  
 3/16" = 1'-0"

ROOF VENTILATION REQUIREMENTS	
#430 SQ. FT. ATTIC / 5000	5038 SQ. IN. FREE VENT. AREA
1660 SQ. IN. ROOF VENTS	1660 SQ. IN. SOFFIT VENTS

PROJ. DATE : 04/8  
 PROJECT NO : Library  
 DRAWN BY : DE/DHS  
 CHECKED BY : DH  
 REVISION :  
 REVISION :  
 REVISION :



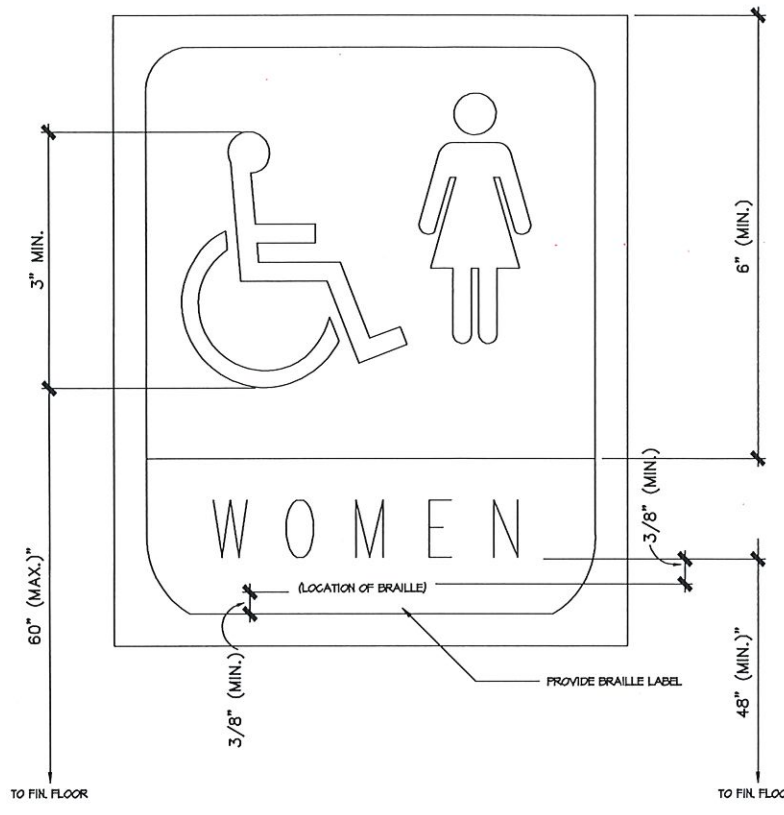
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PROJECT:  
 WALLER COUNTY LIBRARY ADDITION  
 HEMPSTEAD, TEXAS  
 ADDENDUM #1

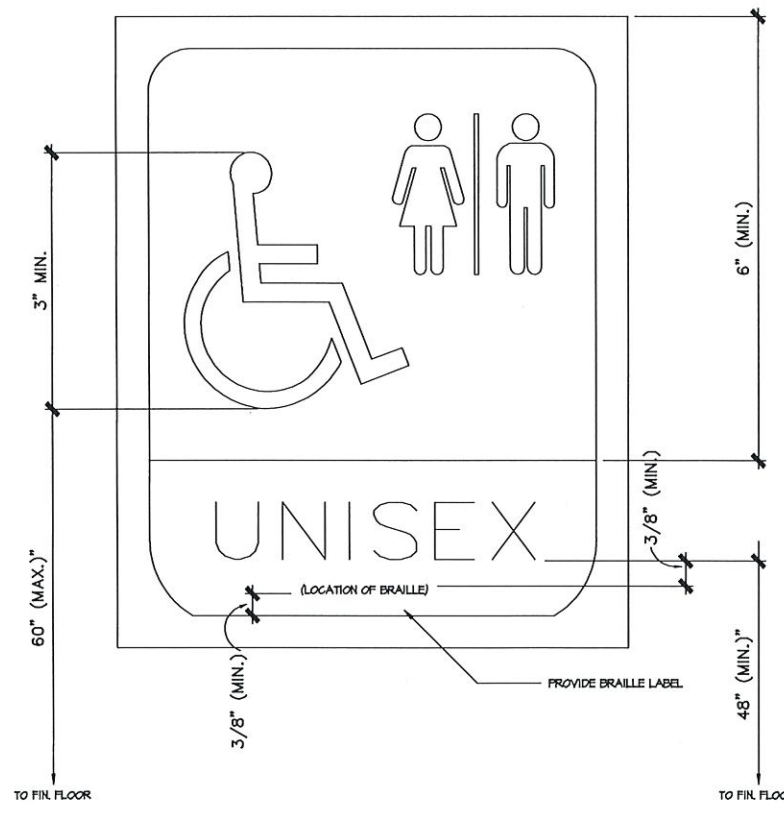
SHEET  
 A61

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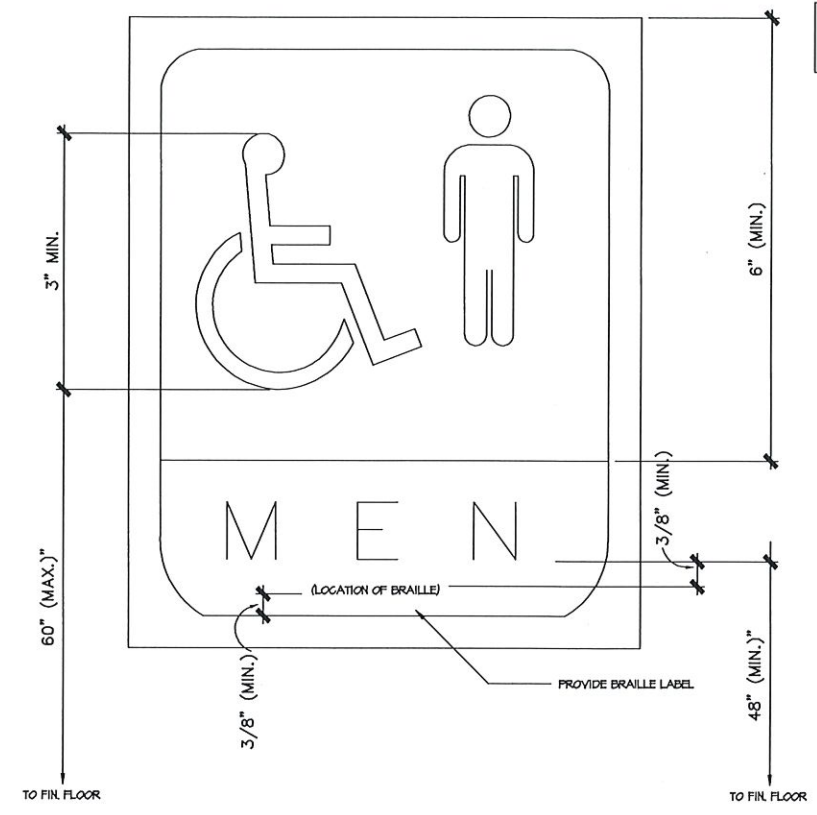
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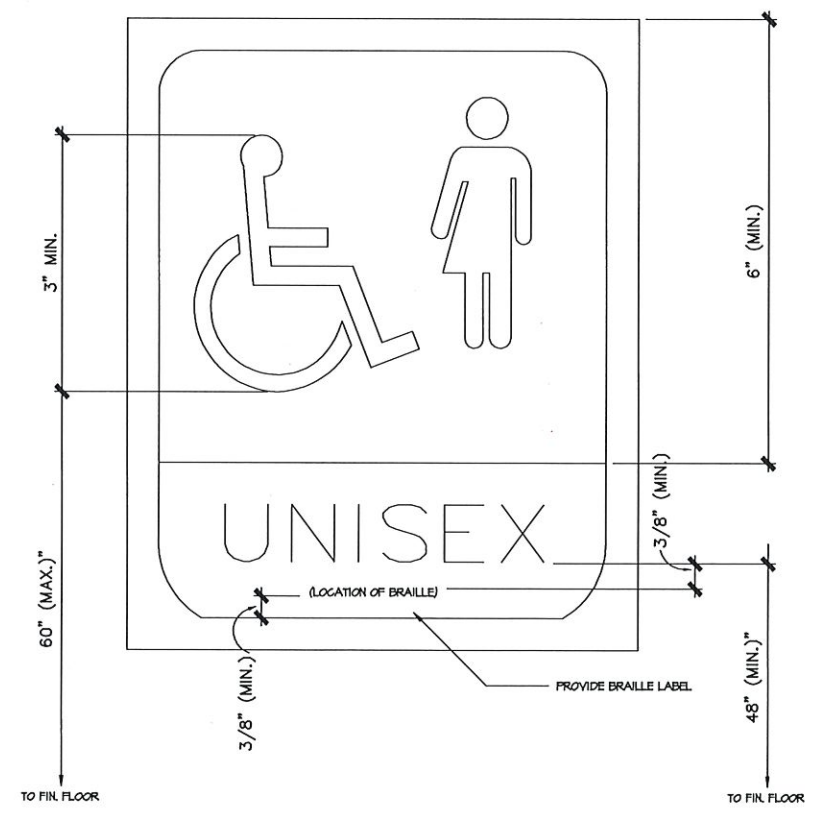
④ HANDICAP INTERIOR SIGNAGE – WOMEN (RESTROOM)  
 NTS



② HANDICAP INTERIOR SIGNAGE – UNISEX RESTROOMS OPT. 2  
 NTS



③ HANDICAP INTERIOR SIGNAGE – MEN (RESTROOM)  
 NTS



① HANDICAP INTERIOR SIGNAGE – UNISEX RESTROOMS OPT. 1  
 NTS

FOUNDATION TO COMPLY WITH FOLLOWING:  
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 FOUNDATION LAYOUT ONLY

PROJ. DATE : 04/8  
 PROJECT NO : WCL 194  
 DRAWN BY : DRS  
 CHECKED BY : DH  
 REVISION :  
 REVISION :



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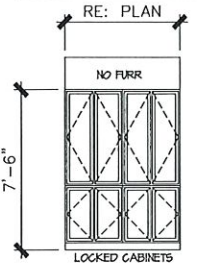
PROJECT:  
 WALLER COUNTY LIBRARY ADDITION  
 HEMPSTEAD, TEXAS  
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 A72

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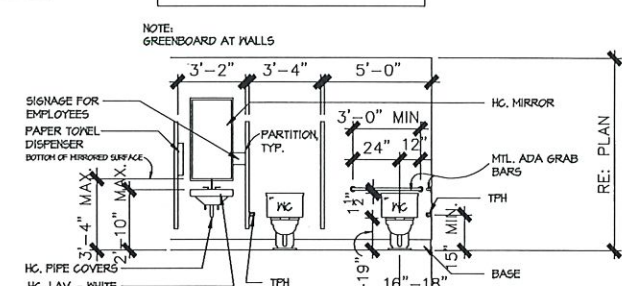
6YP, BD, APPLICATION NOTE:  
ALL 6YP, BD, MUST BE TAPED AND FLOATED



NOTE:  
PROVIDE 2x 1/2 BLOCKING AT ALL CABINET LOCATIONS FOR PROPER SUPPORT

12 VESTIBULE

6YP, BD, APPLICATION NOTE:  
ALL 6YP, BD, MUST BE TAPED AND FLOATED

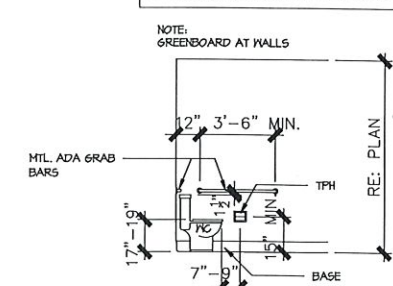


NOTE:  
PROVIDE 2x 1/2 BLOCKING AT ALL TOILET ROOM FIXTURES FOR PROPER SUPPORT

NOTE:  
PROVIDE HAND SOAP DISPENSER LAV.  
NOTE:  
SIGNAGE: "ALL EMPLOYEES MUST WASH HANDS BEFORE RETURNING TO WORK."

13 WOMEN

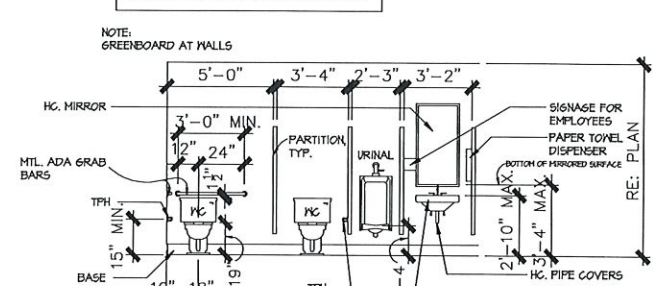
6YP, BD, APPLICATION NOTE:  
ALL 6YP, BD, MUST BE TAPED AND FLOATED



NOTE:  
PROVIDE 2x 1/2 BLOCKING AT ALL TOILET ROOM FIXTURES FOR PROPER SUPPORT

14 WOMEN

6YP, BD, APPLICATION NOTE:  
ALL 6YP, BD, MUST BE TAPED AND FLOATED

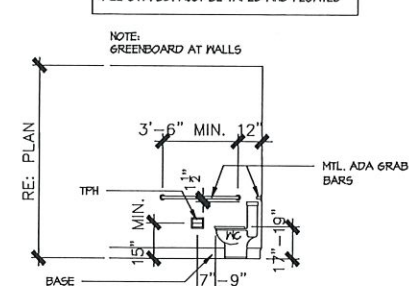


NOTE:  
PROVIDE 2x 1/2 BLOCKING AT ALL TOILET ROOM FIXTURES FOR PROPER SUPPORT

NOTE:  
PROVIDE HAND SOAP DISPENSER LAV.  
NOTE:  
SIGNAGE: "ALL EMPLOYEES MUST WASH HANDS BEFORE RETURNING TO WORK."

15 MEN

6YP, BD, APPLICATION NOTE:  
ALL 6YP, BD, MUST BE TAPED AND FLOATED

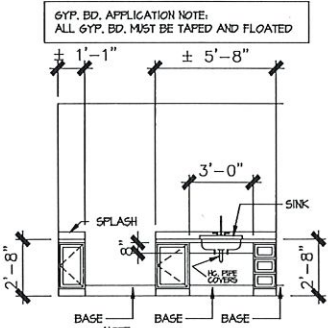


NOTE:  
PROVIDE 2x 1/2 BLOCKING AT ALL TOILET ROOM FIXTURES FOR PROPER SUPPORT

16 MEN

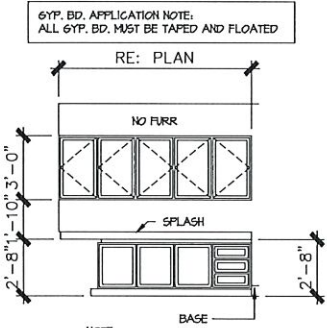
FOUNDATION TO COMPLY WITH FOLLOWING:  
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FOUNDATION LAYOUT ONLY

6YP, BD, APPLICATION NOTE:  
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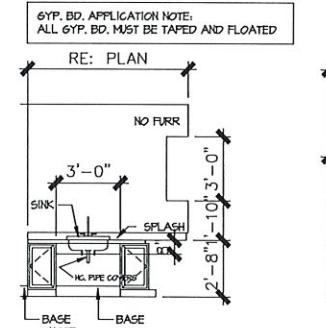
15 MEETING ROOM

6YP, BD, APPLICATION NOTE:  
ALL 6YP, BD, MUST BE TAPED AND FLOATED



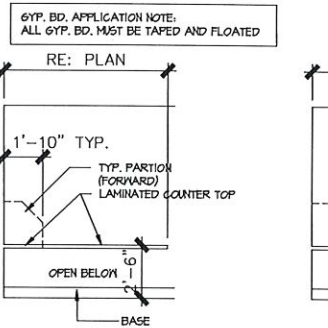
16 STAFF WORK ROOM

6YP, BD, APPLICATION NOTE:  
ALL 6YP, BD, MUST BE TAPED AND FLOATED



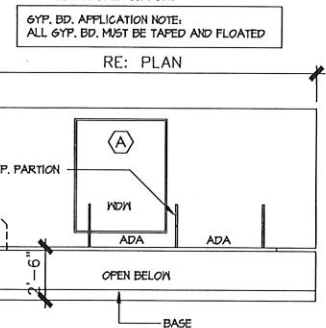
17 STAFF WORK ROOM

6YP, BD, APPLICATION NOTE:  
ALL 6YP, BD, MUST BE TAPED AND FLOATED



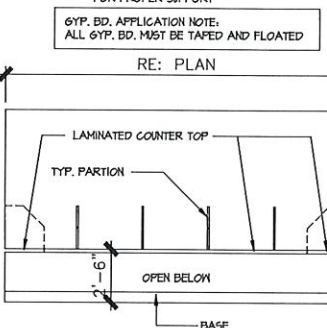
18 BUSINESS CENTER

6YP, BD, APPLICATION NOTE:  
ALL 6YP, BD, MUST BE TAPED AND FLOATED



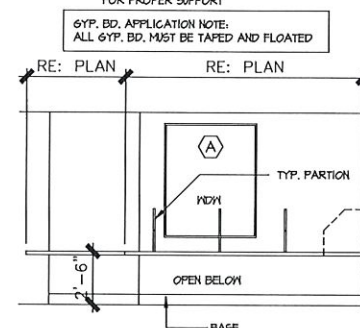
19 BUSINESS CENTER

6YP, BD, APPLICATION NOTE:  
ALL 6YP, BD, MUST BE TAPED AND FLOATED



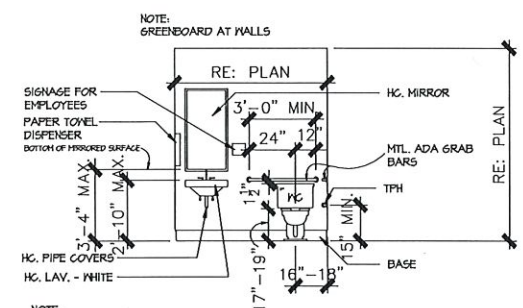
20 BUSINESS CENTER

6YP, BD, APPLICATION NOTE:  
ALL 6YP, BD, MUST BE TAPED AND FLOATED



21 BUSINESS CENTER

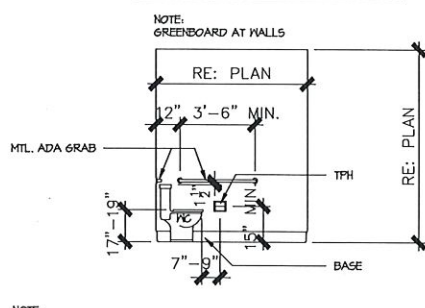
6YP, BD, APPLICATION NOTE:  
ALL 6YP, BD, MUST BE TAPED AND FLOATED



NOTE:  
PROVIDE 2x 1/2 BLOCKING AT ALL TOILET ROOM FIXTURES FOR PROPER SUPPORT

1 UNISEX

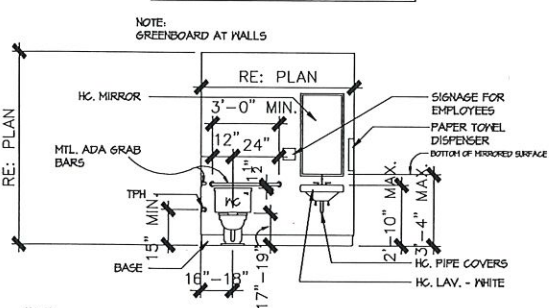
6YP, BD, APPLICATION NOTE:  
ALL 6YP, BD, MUST BE TAPED AND FLOATED



NOTE:  
PROVIDE 2x 1/2 BLOCKING AT ALL TOILET ROOM FIXTURES FOR PROPER SUPPORT

2 UNISEX

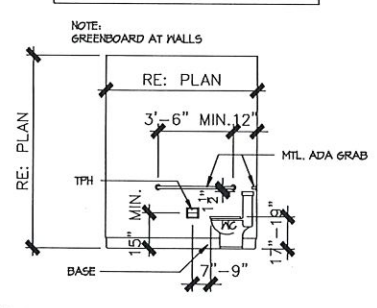
6YP, BD, APPLICATION NOTE:  
ALL 6YP, BD, MUST BE TAPED AND FLOATED



NOTE:  
PROVIDE 2x 1/2 BLOCKING AT ALL TOILET ROOM FIXTURES FOR PROPER SUPPORT

3 UNISEX

6YP, BD, APPLICATION NOTE:  
ALL 6YP, BD, MUST BE TAPED AND FLOATED



NOTE:  
PROVIDE 2x 1/2 BLOCKING AT ALL TOILET ROOM FIXTURES FOR PROPER SUPPORT

4 UNISEX

NOTE: SEE FLOOR PLAN FOR CLEARANCES OF LAVATORY AND TURNING RADIUS OF WATER CLOSETS.

NOTE: FOR SIGNAGE SEE SHEET A7.2

INTERIOR ELEVATIONS

1/4" = 1'-0"

PROJ. DATE : 04/18  
PROJECT NO : WCL 1349  
DRAWN BY : DHS  
CHECKED BY : DE  
REVISION :  
REVISION :



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PROJECT: WALLER COUNTY LIBRARY ADDITION  
HEMPSTEAD, TEXAS  
ADDENDUM #1

SHEET  
A7.1



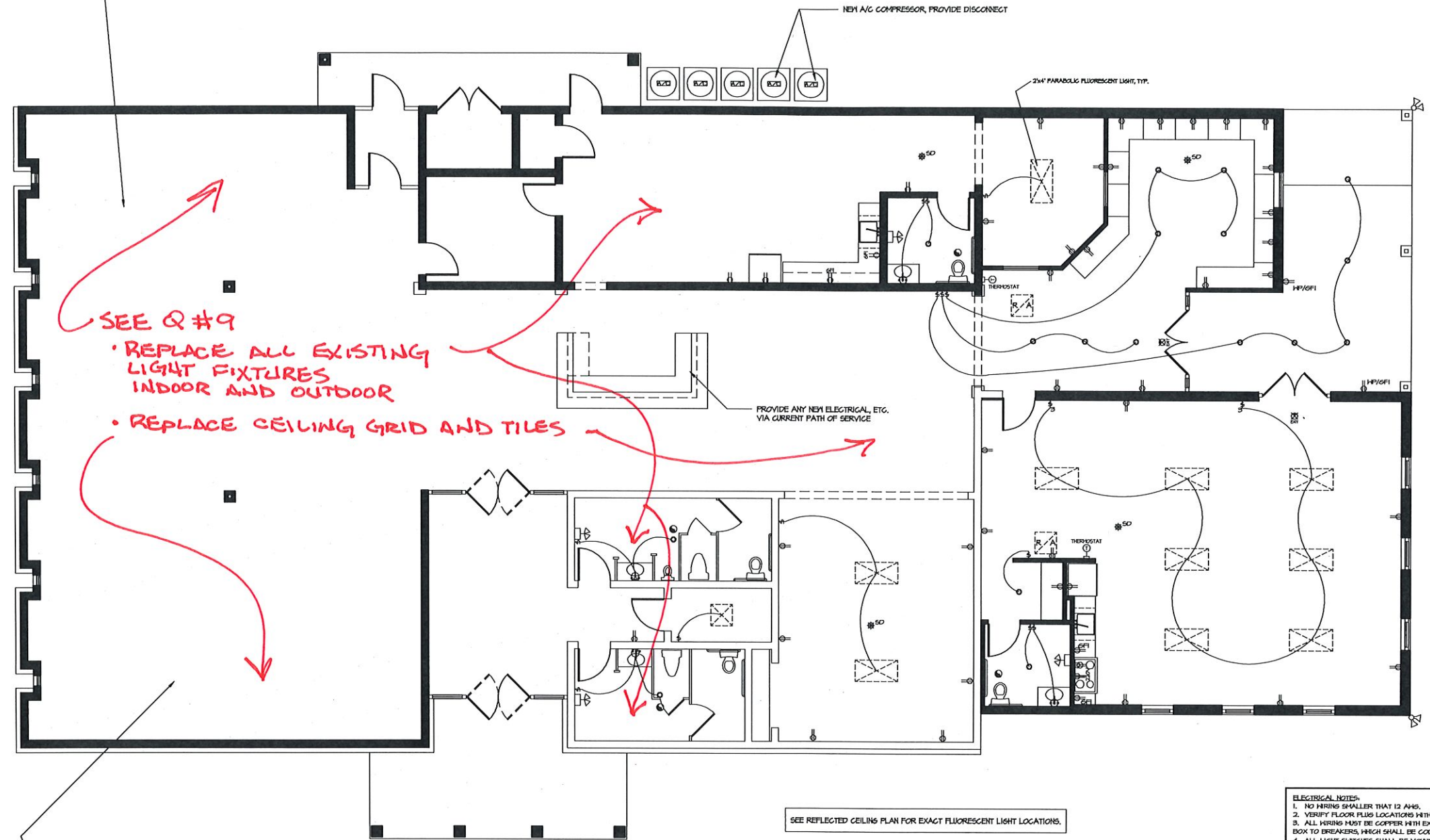
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 ADDENDUM # 1

SHEET  
 A&1



DOT-HATCHING INDICATES EXISTING WITH RENOVATIONS AS INDICATED.



ELECTRICAL LEGEND

	10 VOLT RECEPTACLE
	WATERPROOF RECEPTACLE
	10 VOLT IN CEILING
	10 VOLT AT FIREPLACE MANTLE
	10 VOLT W/GRAND FAULT INTERRUPT
	10 VOLT IN FLOOR
	10 VOLT PLUS MOLD
	220 VOLT RECEPTACLE
	TELEVISION ANTENNA/JACK
	TELEPHONE JACK
	SINGLE POLE SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	PUSH BUTTON
	SMOKE DETECTOR INTERCONNECTED AND HARD-WIRED W/BATTERY BACKUP
	THERMOSTAT
	CHIMNEY
	CEILING MOUNTED LIGHT FIXTURE
	HANGING LIGHT
	LAMP POST
	RECESSED CAN LIGHT (4" CANS MAX TYP.)
	WATERPROOF RECESSED CAN LIGHT (4" CANS MAX TYP.)
	RECESSED EYEBALL SPOT LIGHT
	HAND-POINT OR DIRECTIONAL LT.
	STEP LIGHT
	HALL HALLER OR LOW VOLTAGE LT.
	SCORE OR HALL MOUNTED FIXTURE
	PORCELAIN FIXTURE W/ FULL CORD
	FLOOD LIGHTS ON PHOTOCELL
	EXHAUST FAN
	EXHAUST FAN W/ LIGHT
	EXHAUST FAN W/ HEAT LAMP
	EXHAUST FAN W/ HEAT LAMP & LIGHT
	CEILING FAN
	CEILING FAN W/ LIGHT
	CEILING LIGHT W/ FUTURE FAN
	2' x 2' FLUORESCENT LIGHT
	1' x 4' FLUORESCENT LIGHT
	2' x 4' FLUORESCENT LIGHT
	UNDER-COUNTER LIGHT
	OVER-COUNTER LIGHT
	TRACK LIGHTING
	EMERGENCY LIGHTING

- ELECTRICAL NOTES:
1. NO WIRING SMALLER THAN 12 AWG.
  2. VERIFY FLOOR PLUS LOCATIONS WITH OWNER PRIOR TO SLAB INSTALLATION.
  3. ALL WIRING MUST BE COPPER WITH EXCEPTION OF UNDERGROUND TO MAIN BOX AND FROM MAIN BOX TO BREAKERS, WHICH SHALL BE CODE-APPROVED ALUMINUM.
  4. ALL LIGHT SWITCHES SHALL BE MOUNTED AT 36" AFF.
  5. USE LEVITON "DECORA" ROCKER SWITCHES AT ALL STANDARD LIGHT AND APPLIANCE SWITCHES.
  6. USE LUTRON "SKYLARK" SLIDING CONTROL AT ALL RHEOSTAT (DIMMER) SWITCHES.
  7. PROVIDE ELECTRIC SERVICE FOR ELECTRIC LANDSCAPE LIGHTING, FRONT ELEVATION LIGHTING, PARKING LOT LIGHTING, ETC., ACCORDING TO OWNER'S INSTRUCTIONS.

SEE REFLECTED CEILING PLAN FOR EXACT FLUORESCENT LIGHT LOCATIONS.

ADDITION LIGHTING & ELECTRICAL PLAN (RE: MEP)  
 3/16" = 1'-0"

**NO BASE BID**  
 POSSIBLE ALTERNATE REMODEL CONDITIONS:  
 1 - REPLACE ALL ELECTRICAL & LIGHTING SWITCHES, ALL TYPES OF OUTLETS, ETC.  
 2 - REPLACE ALL LIGHTING AND CEILING FIXTURES OF ALL TYPES (I.E.D. FOR ALL NEW WHERE APPLICABLE).  
 3 - WIRING OF ALL TYPES BUT ONLY AS REQUIRED FOR NEW CONDITIONS.

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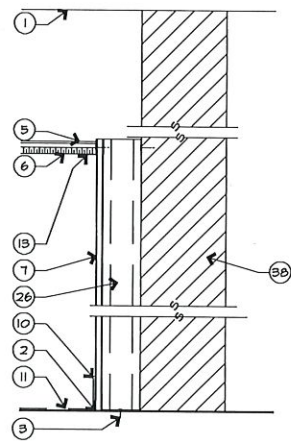


FOUNDATION TO COMPLY WITH FOLLOWING:  
TO BE SUPERCEDED BY ENG. DWG.  
FOUNDATION LAYOUT ONLY

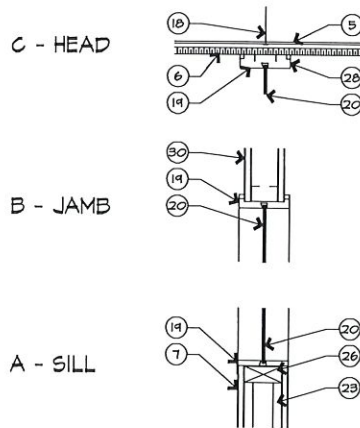
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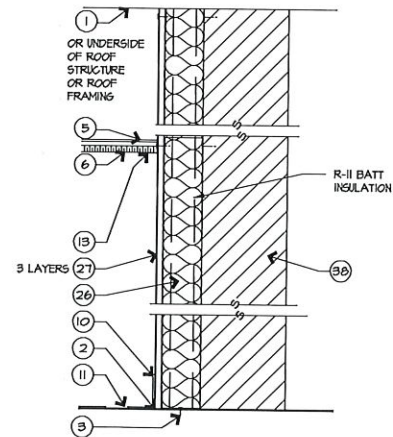
**5** INTERIOR PARTITION AT CMU  
1 1/2" = 1'-0"  
SEE 1/A9.1 FOR INSULATION, IF REQ'D.



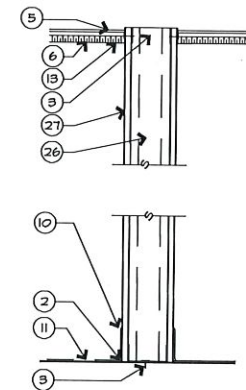
**4** TYP. ALUMINUM GLAZING DETAILS  
1 1/2" = 1'-0"  
SEE 1/A9.1 FOR INSULATION, IF REQ'D.



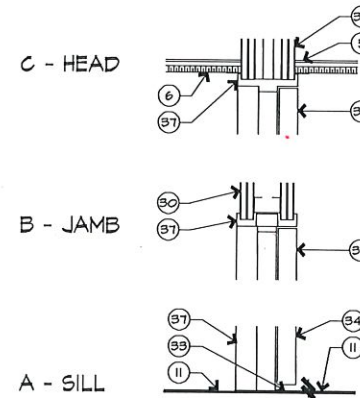
**2** INTERIOR PARTITION AT MASONRY  
1 1/2" = 1'-0"



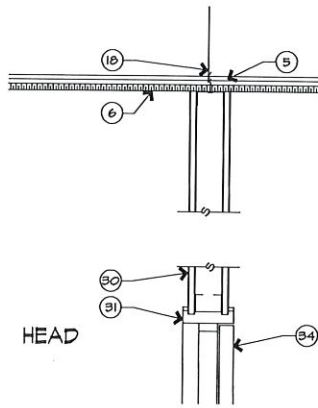
**1** TYPICAL INTERIOR PARTITION  
1 1/2" = 1'-0"



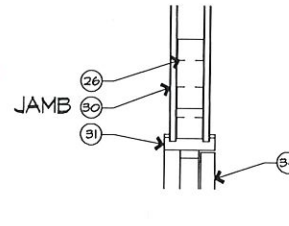
**9** HOLLOW METAL FRAME DETAILS  
1 1/2" = 1'-0"  
SEE 1/A9.1 FOR INSULATION, IF REQ'D.



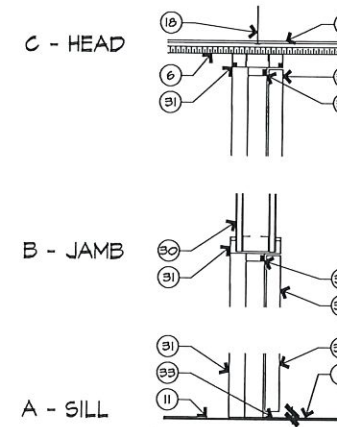
**8** ALUM. FRAME DETAIL  
1 1/2" = 1'-0"  
SEE 1/A9.1 FOR INSULATION, IF REQ'D.



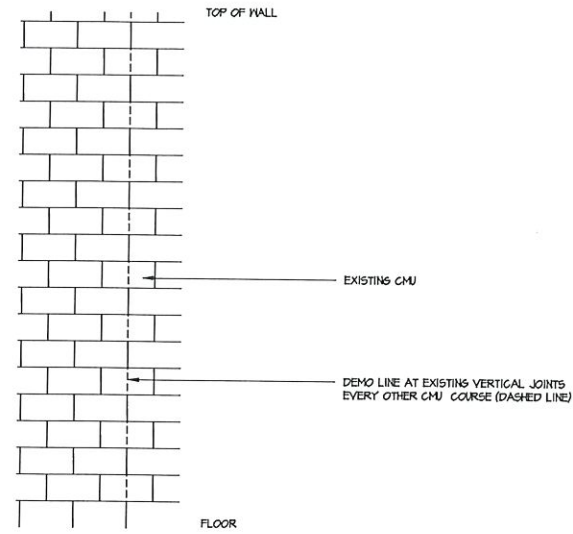
**7** DOOR JAMB DETAIL  
1 1/2" = 1'-0"  
SEE 1/A9.1 FOR INSULATION, IF REQ'D.



**6** TYP. ALUM. FRAME DETAILS  
1 1/2" = 1'-0"  
SEE 1/A9.1 FOR INSULATION, IF REQ'D.



**11** TYP. CMU DEMOLITION (ELEVATION)  
NTS



**PLAN NOTES:**

1. UNDERSIDE OF DECK ABOVE
2. PROVIDE ACOUSTICAL SEALANT @ TOP & BOTTOM TRACKS
3. ANCHOR HEAD & FLOOR TRACK TO STRUCTURE @ 24" O.C.
4. SEAL VOIDS WITH FIRE SAFING & ACOUSTIC CAULK
5. CEILING TEE BEYOND
6. LAY-IN CEILING AS SCHEDULED
7. 5/8" THICK TYPE "X" GYPSUM BOARD
8. EXTEND TO UNDERSIDE OF STRUCTURAL DECK ABOVE
9. EXTEND TO UNDERSIDE OF CEILING ABOVE
10. BASE AS SCHEDULED
11. FINISH FLOORING AS SCHEDULED
12. "RAGO" PRESTIGE CLASSIC SERIES ALUMINUM DOOR FRAME
13. CONTINUOUS CEILING "J" TRIM TENANT SIDES OF PARTITION
14. BUILDING STANDARD, 1 3/4" SOLID CORE WOOD DOOR
15. LABELED 20 MIN. RATED FIRE DOOR, 1 3/4" SOLID CORE WOOD DOOR
16. LABELED 20 MIN. RATED HOLLOW METAL FRAME, PAINT FINISH
17. 1/4" TEMPERED GLASS
18. HANGER WIRE SUPPORT TO STRUCTURE. ATTACH TO MAIN TEES @ 4' O.C.
19. ALUM. HINDON FRAME AS SCHEDULED
20. GLAZING AS SCHEDULED. RE: ELEV.
21. FIRE DAMPER IN SHEET METAL SLEEVE AS REQUIRED FOR RETURN AIR. RE: MECH.
22. 2 LAYERS 5/8" THICK TYPE "X" GYPSUM BOARD
23. 3 5/8" (10 GAUGE) METAL STUDS @ 16" O.C.
24. 3 5/8" (25 GAUGE) METAL STUDS @ 24" O.C.
25. 3 5/8" (20 GAUGE) METAL STUDS @ 24" O.C.
26. 3 5/8" OR 5 5/8" (25 GAUGE) METAL STUDS @ 16" O.C.
27. 1/2" THICK GYPSUM BOARD (GREENBOARD AT NET AREAS)
28. "RAGO" PR-1 HEAD TRACK
29. BLOCKING, TYPE "X"
30. PARTITION AS SCHEDULED
31. ALUMINUM DOOR FRAME AS SCHEDULED
32. CONTINUOUS SILENCER BY FRAME MANUF.
33. CARPET EDGE GUARD WHERE CARPET IS EXPOSED TO TRAFFIC (OMIT IF NOT SCHEDULED.)
34. DOOR AS SCHEDULED
35. 2" SOUND ATTENUATION INSULATED ON TOP OF PARTITION ABOVE CEILING. EXTEND 2 FEET EACH SIDE OF WALL
36. 2-1/2" SOUND ATTENUATION INSULATION
37. HOLLOW METAL DOOR FRAME AS SCHEDULED
38. EXISTING MASONRY

PROJ. DATE : 0418  
PROJECT NO : WCL 1949  
DRAWN BY : DRS  
CHECKED BY : DH  
REVISION :  
REVISION :



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979-270-0733 / dahvar@gmail.com

PROJECT: WALLER COUNTY LIBRARY ADDITION  
HEMPSTEAD, TEXAS  
ADDENDUM #1

SHEET  
A9.1